

**No.6 Stanley Beach Road**  
赤柱灘道六號

售樓說明書 Sales Brochure

# 01 NOTES TO PURCHASERS OF FIRST-HAND RESIDENTIAL PROPERTIES

## 一手住宅物業買家須知

You are advised to take the following steps before purchasing first-hand residential properties.

### For all first-hand residential properties

#### 1. Important information

- Make reference to the materials available on the Sales of First-hand Residential Properties Electronic Platform (SRPE) ([www.srpe.gov.hk](http://www.srpe.gov.hk)) on the first-hand residential property market.
- Study the information on the website designated by the vendor for the development, including the sales brochure, price lists, documents containing the sales arrangements, and the register of transactions of a development.
- Sales brochure for a development will be made available to the general public at least 7 days immediately before a date of sale while price list and sales arrangements will be made available at least 3 days immediately before the date of sale.
- Information on transactions can be found on the register of transactions on the website designated by the vendor for the development and the SRPE.

#### 2. Fees, mortgage loan and property price

- Calculate the total expenses of the purchase, such as solicitors' fees, mortgage charges, insurance fees and stamp duties.
- Check with banks to find out if you will be able to obtain the needed mortgage loan, select the appropriate payment method and calculate the amount of the mortgage loan to ensure it is within your repayment ability.
- Check recent transaction prices of comparable properties for comparison.
- Check with the vendor or the estate agent the estimated management fee, the amount of management fee payable in advance (if any), special fund payable (if any), the amount of reimbursement of the deposits for water, electricity and gas (if any), and/or the amount of debris removal fee (if any) you have to pay to the vendor or the manager of the development.

#### 3. Price list, payment terms and other financial incentives

- Vendors may not offer to sell all the residential properties that are covered in a price list. To know which residential properties the vendors may offer to sell, pay attention to the sales arrangements which will be announced by the vendors at least 3 days before the relevant residential properties are offered to be sold.
- Pay attention to the terms of payment as set out in a price list. If there are discounts on the price, gift, or any financial advantage or benefit to be made available in connection with the purchase of the residential properties, such information will also be set out in the price list.
- If you intend to opt for any mortgage loan plans offered by financial institutions specified by the vendor, before entering into a preliminary agreement for sale and purchase (PASP), you must study the details of various mortgage loan plans<sup>1</sup> as set out in the price list concerned. If you have any questions about these mortgage loan plans, you should check with the financial institutions concerned direct before entering into a PASP.

#### 4. Property area and its surroundings

- Pay attention to the area information in the sales brochure and price list, and price per square foot/ metre in the price list. According to the Residential Properties (First-hand Sales) Ordinance (Cap. 621) (the Ordinance), vendors can only present the area and price per square foot and per square metre of a residential property using saleable area. Saleable area, in relation to a residential property, means the floor area of the residential property, and includes the floor area of every one of the following to the extent that it forms part of the residential property - (i) a balcony; (ii) a utility platform; and (iii) a verandah. The saleable area excludes the area of the following which forms part of the residential property - air-conditioning plant room; bay window; cockloft; flat roof; garden; parking space; roof; stairhood; terrace and yard.
- Floor plans of all residential properties in the development have to be shown in the sales brochure. In a sales brochure, floor plans of residential properties in the development must state the external and internal dimensions of each residential property<sup>2</sup>. The external and internal dimensions of residential properties as provided in the sales brochure exclude plaster and finishes. You are advised to note this if you want to buy furniture before handing over of the residential property.
- Visit the development site and get to know the surroundings of the property (including transportation and community facilities). Check town planning proposals and decisions which may affect the property. Take a look at the location plan, aerial photograph, outline zoning plan and cross-section plan that are provided in the sales brochure.

#### 5. Sales brochure

- Ensure that the sales brochure obtained is the latest version. According to the Ordinance, the sales brochure made available to the public should be printed or examined, or examined and revised within the previous 3 months.
- In respect of an uncompleted development, the vendor may alter the building plans (if any) whenever the vendor considers necessary. To know the latest information of an uncompleted development, keep paying attention to any revised sales brochures made available by the vendor.
- Read through the sales brochure and in particular, check the following information in the sales brochure -
  - whether there is a section on "relevant information" in the sales brochure, under which information on any matter that is known to the vendor but is not known to the general public, and is likely to materially affect the enjoyment of a residential property will be set out. Please note that information contained in a document that has been registered with the Land Registry will not be regarded as "relevant information";
  - the cross-section plan showing a cross-section of the building in relation to every street adjacent to the building, and the level of every such street in relation to a known datum and to the level of the lowest residential floor of the building. This will help you visualize the

difference in height between the lowest residential floor of a building and the street level, regardless of how that lowest residential floor is named;

- interior and exterior fittings and finishes and appliances;
- the basis on which management fees are shared;
- whether individual owners have obligations or need to share the expenses for managing, operating and maintaining the public open space or public facilities inside or outside the development, and the location of the public open space or public facilities; and
- whether individual owners have responsibility to maintain slopes.

#### 6. Government land grant and deed of mutual covenant (DMC)

- Read the Government land grant and the DMC (or the draft DMC). Information such as ownership of the rooftop and external walls can be found in the DMC. The vendor will provide copies of the Government land grant and the DMC (or the draft DMC) at the place where the sale is to take place for free inspection by prospective purchasers.
- Check the Government land grant on whether individual owners are liable to pay Government rent.
- Check the DMC on whether animals can be kept in the residential property.

#### 7. Information on Availability of Residential Properties for Selection at Sales Office

- Check with the vendor which residential properties are available for selection. If a "consumption table" is displayed by the vendor at the sales office, you may check from the table information on the progress of sale on a date of sale, including which residential properties are offered for sale at the beginning of that date of sale and which of them have been selected and sold during that date of sale.
- Do not believe in rumours about the sales condition of the development and enter into a PASP rashly.

#### 8. Register of Transactions

- Pay attention to the register of transactions for a development. A vendor must, within 24 hours after entering into a PASP with a purchaser, enter transaction information of the PASP in the register of transactions. The vendor must, within 1 working day after entering into an agreement for sale and purchase (ASP), enter transaction information of the ASP in the register of transactions. Check the register of transactions for the

<sup>1</sup> The details of various mortgage loan plans include the requirements for mortgagors on minimum income level, the loan limit under the first mortgage and second mortgage, the maximum loan repayment period, the change of mortgage interest rate throughout the entire repayment period, and the payment of administrative fees.

<sup>2</sup> According to section 10(2)(d) in Part 1 of Schedule 1 to the Ordinance, each of the floor plans of the residential properties in the development in the sales brochure must state the following -  
(i) the external dimensions of each residential property;  
(ii) the internal dimensions of each residential property;  
(iii) the thickness of the internal partitions of each residential property;  
(iv) the external dimensions of individual compartments in each residential property.

According to section 10(3) in Part 1 of Schedule 1 to the Ordinance, if any information required by section 10(2)(d) in Part 1 of Schedule 1 to the Ordinance is provided in the approved building plans for the development, a floor plan must state the information as so provided.

concerned development to learn more about the sales condition of the development.

- Never take the number of registrations of intent or cashier orders a vendor has received for the purpose of registration as an indicator of the sales volume of a development. The register of transactions for a development is the most reliable source of information from which members of the public can grasp the daily sales condition of the development.

#### 9. Agreement for sale and purchase

- Ensure that the PASP and ASP include the mandatory provisions as required by the Ordinance.
- Pay attention that fittings, finishes and appliances to be included in the sale and purchase of the property are inserted in the PASP and ASP.
- Pay attention to the area plan annexed to the ASP which shows the total area which the vendor is selling to you. The total area which the vendor is selling to you is normally greater than the saleable area of the property.
- Pay attention to the vendor's right to alter the building plans (if any) for an uncompleted development. The mandatory provisions to be incorporated in an ASP for uncompleted development as required by the Ordinance include a provision requiring the vendor to notify the purchaser in writing of such alteration if the same affects in any way the property within 14 days after its having been approved by the Building Authority.
- A preliminary deposit of **5%** of the purchase price is payable by you to the owner (i.e. the seller) on entering into a PASP.
- If you do not execute the ASP within **5 working days** (working day means a day that is not a general holiday or a Saturday or a black rainstorm warning day or gale warning day) after entering into the PASP, the PASP is terminated, the preliminary deposit (i.e. 5% of the purchase price) is forfeited, and the owner (i.e. the seller) does not have any further claim against you for not executing the ASP.
- If you execute the ASP within 5 working days after the signing of the PASP, the owner (i.e. the seller) must execute the ASP within 8 working days after entering into the PASP.
- The deposit should be made payable to the solicitors' firm responsible for stakeholding purchasers' payments for the property.

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### 10. Expression of intent of purchasing a residential property

- Note that vendors (including their authorized representative(s)) should not seek or accept any specific or general expression of intent of purchasing any residential property before the relevant price lists for such properties are made available to the public. You therefore should not make such an offer to the vendors or their authorized representative(s).
- Note that vendors (including their authorized representative(s)) should not seek or accept any specific expression of intent of purchasing a particular residential property before the sale of the property has commenced. You therefore should not make such an offer to the vendors or their authorized representative(s).

### 11. Appointment of estate agent

- Note that if the vendor has appointed one or more than one estate agents to act in the sale of any specified residential property in the development, the price list for the development must set out the name of all the estate agents so appointed as at the date of printing of the price list.
- You may appoint any estate agent (not necessarily from those estate agency companies appointed by the vendor) to act in the purchase of any specified residential property in the development, and may also not appoint any estate agent to act on your behalf.
- Before you appoint an estate agent to look for a property, you should -
  - find out whether the agent will act on your behalf only. If the agent also acts for the vendor, he/she may not be able to protect your best interests in the event of a conflict of interest;
  - find out whether any commission is payable by you to the estate agent and, if so, its amount and the time of payment; and
  - note that only licensed estate agents or salespersons may accept your appointment. If in doubt, you should request the estate agent or salesperson to produce his/her Estate Agent Card, or check the Licence List on the Estate Agents Authority website: [www.eaa.org.hk](http://www.eaa.org.hk).

### 12. Appointment of solicitor

- Consider appointing your own solicitor to protect your interests. If the solicitor also acts for the vendor, he/she may not be able to protect your best interests in the event of a conflict of interest.
- Compare the charges of different solicitors.

### **For first-hand uncompleted residential properties**

#### 13. Pre-sale Consent

- For uncompleted residential property under the Lands Department Consent Scheme, seek confirmation from the vendor whether the “Pre-sale Consent” has been issued by the Lands Department for the development.

#### 14. Show flats

- While the vendor is not required to make any show flat available for viewing by prospective purchasers or the general public, if the vendor wishes to make available

show flats of a specified residential property, the vendor must first of all make available an unmodified show flat of that residential property and that, having made available such unmodified show flat, the vendor may then make available a modified show flat of that residential property. In this connection, the vendor is allowed to make available more than one modified show flat of that residential property.

- If you visit the show flats, you should always look at the unmodified show flats for comparison with the modified show flats. That said, the Ordinance does not restrict the discretion of the vendor in arranging the sequence of the viewing of unmodified and modified show flats.
- Sales brochure of the development should have been made available to the public when the show flat is made available for viewing. You are advised to get a copy of the sales brochure and make reference to it when viewing the show flats.
- You may take measurements in modified and unmodified show flats, and take photographs or make video recordings of unmodified show flats, subject to reasonable restriction(s) which may be set by the vendor for ensuring safety of the persons viewing the show flat.

### **For first-hand uncompleted residential properties and completed residential properties pending compliance**

#### 15. Estimated material date and handing over date

- Check the estimated material date<sup>3</sup> for the development in the sales brochure.
  - The estimated material date for a development in the sales brochure is not the same as the date on which a residential property is handed over to purchaser. The latter is normally later than the former. However, the handing over date may be earlier than the estimated material date set out in the sales brochure in case of earlier completion of the development.
- Handing over date
  - The mandatory provisions to be incorporated in an ASP as required by the Ordinance include a provision requiring the vendor to apply in writing for an Occupation Document / a Certificate of Compliance or the Director of Lands’ Consent to Assign (as the case may be) in respect of the development within 14 days after the estimated material date as stipulated in the ASP.
    - > For development subject to the Lands Department Consent Scheme, the vendor is required to notify the purchaser in writing that the vendor is in a position validly to assign the property within one month after the issue of the Certificate of Compliance or the Consent to Assign, whichever first happens; or
    - > For development not subject to the Lands Department Consent Scheme, the vendor is required to notify the purchaser in writing that the vendor is in a position validly to assign the property within 6 months after the issue of the Occupation Document including Occupation Permit.
  - The mandatory provisions to be incorporated in an ASP as required by the Ordinance include a provision requiring completion of the sale and purchase within

14 days after the date of the notification aforesaid. Upon completion, the vendor shall arrange handover of the property to the purchaser.

- Authorized Person (AP) may grant extension(s) of time for completion of the development beyond the estimated material date.
  - The mandatory provisions to be incorporated in an ASP as required by the Ordinance include a provision that the AP of a development may grant an extension of time for completion of the development beyond the estimated material date having regard to delays caused exclusively by any one or more of the following reasons:
    - > strike or lock-out of workmen;
    - > riots or civil commotion;
    - > force majeure or Act of God;
    - > fire or other accident beyond the vendor’s control;
    - > war; or
    - > inclement weather.
  - The AP may grant more than once such an extension of time depending on the circumstances. That means handover of the property may be delayed.
  - The mandatory provisions to be incorporated in an ASP as required by the Ordinance also include a provision requiring the vendor to, within 14 days after the issue of an extension of time granted by the AP, furnish the purchaser with a copy of the relevant certificate of extension.
- Ask the vendor if there are any questions on handing over date.

### **For first-hand completed residential properties**

#### 16. Vendor’s information form

- Ensure that you obtain the “vendor’s information form(s)” printed within the previous 3 months in relation to the residential property/properties you intend to purchase.

#### 17. Viewing of property

- Ensure that, before you purchase a residential property, you are arranged to view the residential property that you would like to purchase or, if it is not reasonably practicable to view the property in question, a comparable property in the development, unless you agree in writing that the vendor is not required to arrange such a comparable property for viewing for you. You are advised to think carefully before signing any waiver.
- You may take measurements, take photographs or make video recordings of the property, unless the property is held under a tenancy or reasonable restriction(s) is/are needed to ensure safety of the persons viewing the property.

<sup>3</sup> Generally speaking, “material date” means the date on which the conditions of the land grant are complied with in respect of the development, or the date on which the development is completed in all respects in compliance with the approved building plans or the conditions subject to which the certificate of exemption is issued. For details, please refer to section 2 of the Ordinance.

**For complaints and enquiries relating to the sales of first-hand residential properties by the vendors which the Ordinance applies, please contact the Sales of First-hand Residential Properties Authority -**

Website : [www.srpa.gov.hk](http://www.srpa.gov.hk)  
Telephone : 2817 3313  
Email : [enquiry\\_srpa@hd.gov.hk](mailto:enquiry_srpa@hd.gov.hk)  
Fax : 2219 2220

### **Other useful contacts:**

Consumer Council  
Website : [www.consumer.org.hk](http://www.consumer.org.hk)  
Telephone : 2929 2222  
Email : [cc@consumer.org.hk](mailto:cc@consumer.org.hk)  
Fax : 2856 3611

Estate Agents Authority  
Website : [www.eaa.org.hk](http://www.eaa.org.hk)  
Telephone : 2111 2777  
Email : [enquiry@eaa.org.hk](mailto:enquiry@eaa.org.hk)  
Fax : 2598 9596

Real Estate Developers Association of Hong Kong  
Telephone : 2826 0111  
Fax : 2845 2521

Sales of First-hand Residential Properties Authority  
March 2023

# 01 NOTES TO PURCHASERS OF FIRST-HAND RESIDENTIAL PROPERTIES

## 一手住宅物業買家須知

您在購置一手住宅物業之前，應留意下列事項：

### 適用於所有一手住宅物業

#### 1. 重要資訊

- 瀏覽一手住宅物業銷售資訊網(下稱「銷售資訊網」)，(網址：www.srpe.gov.hk)，參考「銷售資訊網」內有關一手住宅物業的市場資料。
- 閱覽賣方就該發展項目所指定的互聯網網站內的有關資訊，包括售樓說明書、價單、載有銷售安排的文件，及成交紀錄冊。
- 發展項目的售樓說明書，會在該項目的出售日期前最少七日向公眾發布，而有關價單和銷售安排，亦會在該項目的出售日期前最少三日公布。
- 在賣方就有關發展項目所指定的互聯網網站，以及「銷售資訊網」內，均載有有關物業成交資料的成交紀錄冊，以供查閱。

#### 2. 費用、按揭貸款和樓價

- 計算置業總開支，包括律師費、按揭費用、保險費，以及印花稅。
- 向銀行查詢可否取得所需的按揭貸款，然後選擇合適的還款方式，並小心計算按揭貸款金額，以確保貸款額沒有超出本身的負擔能力。
- 查閱同類物業最近的成交價格，以作比較。
- 向賣方或地產代理瞭解，您須付予賣方或該發展項目的管理人的預計的管理費、管理費上期金額(如有)、特別基金金額(如有)、補還的水、電力及氣體按金(如有)，以及/或清理廢料的費用(如有)。

#### 3. 價單、支付條款，以及其他財務優惠

- 賣方未必會把價單所涵蓋的住宅物業悉數推售，因此應留意有關的銷售安排，以了解賣方會推售的住宅物業為何。賣方會在有關住宅物業推售日期前最少三日公布銷售安排。
- 留意價單所載列的支付條款。倘買家可就購置有關住宅物業而連帶獲得價格折扣、贈品，或任何財務優惠或利益，上述資訊亦會在價單內列明。
- 如您擬選用由賣方指定的財務機構提供的各類按揭貸款計劃，在簽訂臨時買賣合約前，應先細閱有關價單內列出的按揭貸款計劃資料<sup>1</sup>。如就該些按揭貸款計劃的詳情有任何疑問，應在簽訂臨時買賣合約前，直接向有關財務機構查詢。

#### 4. 物業的面積及四周環境

- 留意載於售樓說明書和價單內的物業面積資料，以及載於價單內的每平方呎/每平方米售價。根據《一手住宅物業銷售條例》(第621章)(下稱「條例」)，賣方只可以實用面積表達住宅物業的面積和每平方呎及平方米的售價。就住宅物業而言，實用面積指該住宅物業的樓面面積，包括在構成該物業的一部分的範圍內的以下每一項目的樓面面積：(i) 露台；(ii) 工作平台；以及(iii) 陽台。實用面積並不包括空調機房、窗台、閣樓、平台、花園、停車位、天台、梯屋、前庭及庭院的每一項目的面積，

即使該些項目構成該物業的一部分的範圍。

- 售樓說明書必須顯示發展項目中所有住宅物業的樓面平面圖。在售樓說明書所載有關發展項目中住宅物業的每一份樓面平面圖，均須述明每個住宅物業的外部及內部尺寸<sup>2</sup>。售樓說明書所提供有關住宅物業外部及內部的尺寸，不會把批盪和裝飾物料包括在內。買家收樓前如欲購置家具，應留意這點。
- 親臨發展項目的所在地實地視察，以了解有關物業的四周環境(包括交通和社區設施)；亦應查詢有否任何城市規劃方案和議決，會對有關的物業造成影響；參閱載於售樓說明書內的位置圖、鳥瞰照片、分區計劃大綱圖，以及橫截面圖。

#### 5. 售樓說明書

- 確保所取得的售樓說明書屬最新版本。根據條例，提供予公眾的售樓說明書必須是在之前的三個月之內印製或檢視、或檢視及修改。
- 如屬未落成發展項目，賣方在認為有需要時可改動建築圖則(如有的話)，因此應留意由賣方提供的任何經修改的售樓說明書，以了解有關未落成發展項目的最新資料。
- 閱覽售樓說明書，並須特別留意以下資訊：
  - 售樓說明書內有否關於「有關資料」的部分，列出賣方知悉但並非為一般公眾人士所知悉，關於相當可能對享用有關住宅物業造成重大影響的事宜的資料。請注意，已在土地註冊處註冊的文件，其內容不會被視為「有關資料」；
  - 橫截面圖會顯示有關建築物相對毗連該建築物的每條街道的橫截面，以及每條上述街道與已知基準面和該建築物最低的一層住宅樓層的水平相對的水平。橫截面圖能以圖解形式，顯示出建築物最低一層住宅樓層和街道水平的高低差距，不論該最低住宅樓層以何種方式命名；
  - 室內和外部的裝置、裝修物料和設備；
  - 管理費按甚麼基準分擔；
  - 小業主有否責任或需要分擔管理、營運或維持有關發展項目以內或以外的公眾休憩用地或公共設施的開支，以及有關公眾休憩用地或公共設施的位置；以及
  - 小業主是否須要負責維修斜坡。

#### 6. 政府批地文件和公契

- 閱覽政府批地文件和公契(或公契擬稿)。公契內載有天台和外牆業權等相關資料。賣方會在售樓處提供政府批地文件和公契(或公契擬稿)的複本，供準買家免費閱覽。
- 留意政府批地文件內所訂明小業主是否須要負責支付地稅。
- 留意公契內訂明有關物業內可否飼養動物。

#### 7. 售樓處內有關可供揀選住宅物業的資料

- 向賣方查詢清楚有哪些一手住宅物業可供揀選。若賣方在售樓處內展示「消耗表」，您可從該「消耗表」得悉在每個銷售日的銷售進度資料，包括在該個銷售日開始時有哪些住宅物業可供出售，以及在

該個銷售日內有哪些住宅物業已獲揀選及售出。

- 切勿隨便相信有關發展項目銷情的傳言，倉卒簽立臨時買賣合約。

#### 8. 成交紀錄冊

- 留意發展項目的成交紀錄冊。賣方須於臨時買賣合約訂立後的24小時內，於紀錄冊披露該臨時買賣合約的資料，以及於買賣合約訂立後一個工作天內，披露該買賣合約的資料。您可透過成交紀錄冊得悉發展項目的銷售情況。
- 切勿將賣方接獲用作登記的購樓意向書或本票的數目視為銷情指標。發展項目的成交紀錄冊才是讓公眾掌握發展項目每日銷售情況的最可靠資料來源。

#### 9. 買賣合約

- 確保臨時買賣合約和買賣合約包含條例所規定的強制性條文。
- 留意有關物業買賣交易所包括的裝置、裝修物料和設備，須在臨時買賣合約和買賣合約上列明。
- 留意夾附於買賣合約的圖則。該圖則會顯示所有賣方售予您的物業面積，而該面積通常較該物業的實用面積為大。
- 留意賣方有權改動未落成發展項目的建築圖則(如有的話)。如屬未落成發展項目，條例規定物業的買賣合約須載有強制性條文，列明如有關改動在任何方面對該物業造成影響，賣方須在改動獲建築事務監督批准後的14日內，將該項改動以書面通知買家。
- 訂立臨時買賣合約時，您須向擁有人(即賣方)支付樓價5%的臨時訂金。
- 如您在訂立臨時買賣合約後五個工作日(工作日指並非公眾假日、星期六、黑色暴雨警告日或烈風警告日的日子)之內，沒有簽立買賣合約，該臨時買賣合約即告終止，有關臨時訂金(即樓價的5%)會被沒收，而擁有人(即賣方)不得因您沒有簽立買賣合約而對您提出進一步申索。
- 在訂立臨時買賣合約後的五個工作日之內，倘您簽立買賣合約，則擁有人(即賣方)必須在訂立該臨時買賣合約後的八個工作日之內簽立買賣合約。
- 有關的訂金，應付予負責為所涉物業擔任保證金保存人的律師事務所。

<sup>1</sup> 按揭貸款計劃的資料包括有關按揭貸款計劃對借款人的最低收入的要求、就第一按揭連同第二按揭可獲得的按揭貸款金額上限、最長還款年期、整個還款期內的按揭利率變化，以及申請人須繳付的手續費。

<sup>2</sup> 根據條例附表1第1部第10(2)(d)條述明，售樓說明書內顯示的發展項目中的住宅物業的每一份樓面平面圖須述明以下各項 -

(i) 每個住宅物業的外部尺寸；  
(ii) 每個住宅物業的內部尺寸；  
(iii) 每個住宅物業的內部間隔的厚度；  
(iv) 每個住宅物業內個別分隔室的外部尺寸。  
根據條例附表1第1部第10(3)條，如有關發展項目的經批准的建築圖則，提供條例附表1第1部第10(2)(d)條所規定的資料，樓面平面圖須述明如此規定的該資料。

#### 10. 表達購樓意向

- 留意在賣方(包括其獲授權代表)就有關住宅物業向公眾提供價單前，賣方不得尋求或接納任何對有關住宅物業的購樓意向(不論是否屬明確選擇購樓意向)。因此您不應向賣方或其授權代表提出有關意向。
- 留意在有關住宅物業的銷售開始前，賣方(包括其獲授權代表)不得尋求或接納任何對該物業的有明確選擇購樓意向。因此您不應向賣方或其授權代表提出有關意向。

#### 11. 委託地產代理

- 留意倘賣方委任一個或多於一個地產代理，以協助銷售其發展項目內任何指明住宅物業，該發展項目的價單必須列明在價單印刷日期當日所有獲委任為地產代理的姓名/名稱。
- 您可委託任何地產代理(不一定是賣方所指定的地產代理)，以協助您購置發展項目內任何指明住宅物業；您亦可不委託任何地產代理。
- 委託地產代理以物業物業前，您應該 -
  - 了解該地產代理是否只代表您行事。該地產代理若同時代表賣方行事，倘發生利益衝突，未必能夠保障您的最大利益；
  - 了解您須否支付佣金予該地產代理。若須支付，有關的佣金金額和支付日期為何；以及
  - 留意只有持牌地產代理或營業員才可以接受您的委託。如有疑問，應要求該地產代理或營業員出示其「地產代理證」，或瀏覽地產代理監管局的網頁(網址：www.eaa.org.hk)，查閱牌照目錄。

#### 12. 委聘律師

- 考慮自行委聘律師，以保障您的利益。該律師若同時代表賣方行事，倘發生利益衝突，未必能夠保障您的最大利益。
- 比較不同律師的收費。

# 01 NOTES TO PURCHASERS OF FIRST-HAND RESIDENTIAL PROPERTIES

## 一手住宅物業買家須知

### 適用於一手未落成住宅物業

#### 13. 預售樓花同意書

- 洽購地政總署「預售樓花同意方案」下的未落成住宅物業時，應向賣方確認地政總署是否已就該發展項目批出「預售樓花同意書」。

#### 14. 示範單位

- 賣方不一定須設置示範單位供準買家或公眾參觀，但賣方如為某指明住宅物業設置示範單位，必須首先設置該住宅物業的無改動示範單位，才可設置該住宅物業的經改動示範單位，並可以就該住宅物業設置多於一個經改動示範單位。
- 參觀示範單位時，務必視察無改動示範單位，以便與經改動示範單位作出比較。然而，條例並沒有限制賣方安排參觀無改動示範單位及經改動示範單位的先後次序。
- 賣方設置示範單位供公眾參觀時，應已提供有關發展項目的售樓說明書。因此，緊記先行索取售樓說明書，以便在參觀示範單位時參閱相關資料。
- 您可以在無改動示範單位及經改動示範單位中進行量度，並在無改動示範單位內拍照或拍攝影片，惟在確保示範單位參觀者人身安全的前提下，賣方可能會設定合理的限制。

### 適用於一手未落成住宅物業及尚待符合條件的已落成住宅物業

#### 15. 預計關鍵日期及收樓日期

- 查閱售樓說明書中有關發展項目的預計關鍵日期<sup>3</sup>。
  - 售樓說明書中有關發展項目的預計關鍵日期並不同買家的「收樓日期」。買家的「收樓日期」一般會較發展項目的預計關鍵日期遲。然而，假若發展項目比預期早落成，「收樓日期」可能會較售樓說明書列出的預計關鍵日期為早。
- 收樓日期
  - 條例規定買賣合約須載有強制性條文，列明賣方須於買賣合約內列出的預計關鍵日期後的14日內，以書面為發展項目申請佔用文件、合格證明書，或地政總署署長的轉讓同意(視屬何種情況而定)。
    - 如發展項目屬地政總署預售樓花同意方案所規管，賣方須在合格證明書或地政總署署長的轉讓同意發出後的一個月內(以較早者為準)，就賣方有能力有效地轉讓有關物業一事，以書面通知買家；或
    - 如發展項目並非屬地政總署預售樓花同意方案所規管，賣方須在佔用文件(包括佔用許可證)發出後的六個月內，就賣方有能力有效地轉讓有關物業一事，以書面通知買家。
  - 條例規定買賣合約須載有強制性條文，列明有關物業的買賣須於賣方發出上述通知的日期的14日內完成。有關物業的買賣完成後，賣方將安排買家收樓事宜。

- 認可人士可批予在預計關鍵日期之後完成發展項目
  - 條例規定買賣合約須載有強制性條文，列明發展項目的認可人士可以在顧及純粹由以下一個或多於一個原因所導致的延遲後，批予在預計關鍵日期之後，完成發展項目：
    - 工人罷工或封閉工地；
    - 暴動或內亂；
    - 不可抗力或天災；
    - 火警或其他賣方所不能控制的意外；
    - 戰爭；或
    - 惡劣天氣。
  - 發展項目的認可人士可以按情況，多於一次批予延後預計關鍵日期以完成發展項目，即收樓日期可能延遲。
  - 條例規定買賣合約須載有強制性條文，列明賣方須於認可人士批予延期後的14日內，向買家提供有關延期證明書的文本。
- 如對收樓日期有任何疑問，可向賣方查詢。

### 適用於一手已落成住宅物業

#### 16. 賣方資料表格

- 確保取得最近三個月內印製有關您擬購買的一手已落成住宅物業的「賣方資料表格」。

#### 17. 參觀物業

- 購置住宅物業前，確保已獲安排參觀您打算購置的住宅物業。倘參觀有關物業並非合理地切實可行，則應參觀與有關物業相若的物業，除非您以書面同意賣方無須開放與有關物業相若的物業供您參觀。您應仔細考慮，然後才決定是否簽署豁免上述規定的書面同意。
- 除非有關物業根據租約持有，或為確保物業參觀者的人身安全而須設定合理限制，您可以對該物業進行量度、拍照或拍攝影片。

任何與賣方銷售受條例所規管的一手住宅物業有關的投訴和查詢，請與一手住宅物業銷售監管局聯絡。

網址 : [www.srpa.gov.hk](http://www.srpa.gov.hk)  
電話 : 2817 3313  
電郵 : [enquiry\\_srpa@hd.gov.hk](mailto:enquiry_srpa@hd.gov.hk)  
傳真 : 2219 2220

#### 其他相關聯絡資料：

消費者委員會  
網址 : [www.consumer.org.hk](http://www.consumer.org.hk)  
電話 : 2929 2222  
電郵 : [cc@consumer.org.hk](mailto:cc@consumer.org.hk)  
傳真 : 2856 3611

地產代理監管局  
網址 : [www.eaa.org.hk](http://www.eaa.org.hk)  
電話 : 2111 2777  
電郵 : [enquiry@eaa.org.hk](mailto:enquiry@eaa.org.hk)  
傳真 : 2598 9596

香港地產建設商會  
電話 : 2826 0111  
傳真 : 2845 2521

一手住宅物業銷售監管局  
2023年3月

<sup>3</sup> 一般而言，「關鍵日期」指該項目符合批地文件的條件的日期，或該項目在遵照經批准的建築圖則的情況下或按照豁免證明書的發出的條件在各方面均屬完成的日期。有關詳情請參閱條例第2條。

## 02 INFORMATION ON THE DEVELOPMENT

### 發展項目的資料

Name of the Development : No. 6 Stanley Beach Road

The Name of the Street at which the Development is situated and the Street Number allocated by the Commissioner of Rating and Valuation for the purpose of distinguishing the Development : 6 Stanley Beach Road

Total Number of Houses : 10 houses

House numbering as provided in the approved building plans for the Development : House 1, 2, 3, 5, 6, 8, 9, 10, 11 and 12

Omitted House Number : House 4 and 7 are omitted

發展項目名稱 : 赤柱灘道六號

發展項目所位於的街道的名稱及由差餉物業估價署署長為識別發展項目的目的而編配的門牌號數 : 赤柱灘道6號

獨立屋的總數 : 10間

發展項目的經批准的建築圖則所規定的門牌號數 : 1、2、3、5、6、8、9、10、11及12號洋房

被略去的門牌號數 : 不設4及7號洋房

# 03 INFORMATION ON VENDOR AND OTHERS INVOLVED IN THE DEVELOPMENT

## 賣方及有參與發展項目的其他人的資料

Vendor*	: Green Terrace Investments Limited (for House 3 only) : Highwave Investments Limited (for House 9 only) : Delightful Champ Limited (for House 11 only) : Seabase Investments Limited (for House 12 only) :	賣方*	: Green Terrace Investments Limited (只適用於3號洋房) : Highwave Investments Limited (只適用於9號洋房) : Delightful Champ Limited (只適用於11號洋房) : Seabase Investments Limited (只適用於12號洋房)
Holding Company of the Vendor**	: Best Fame Group Limited Wealth Join Development Limited China Overseas Property Limited China Overseas Land & Investment Limited China Overseas Holdings Limited China State Construction Engineering Corporation Limited China State Construction Engineering Corporation	賣方的控權公司**	: 卓名集團有限公司 益潤發展有限公司 中國海外地產有限公司 中國海外發展有限公司 中國海外集團有限公司 中國建築股份有限公司 中國建築集團有限公司
Authorized Person for the Development	: Mr. Kyran Sze (note: his appointment as Authorized Person for the Development had ceased as from 2 August 2013)	發展項目的認可人士	: 施家殷先生 (註: 其作為發展項目的認可人士之委任已自2013年8月2日起停止)
The Firm or Corporation of which an Authorized Person for the Development is a proprietor, director or employee in his or her professional capacity	: Aedas Limited (note: Mr Kyran Sze had resigned his post in Aedas Limited)	發展項目的認可人士以其專業身分擔任經營人、董事或僱員的商號或法團	: 凱達環球有限公司 (註: 施家殷先生已經辭去其於凱達環球有限公司之職務)
Building Contractor for the Development	: Man Kit Construction Co. Ltd.	發展項目的承建商	: 文傑建築有限公司
The Firms of Solicitors acting for the Owner in relation to the sale of residential properties in the Development	: Grandall Zimmern Law Firm (formerly known as F. Zimmern & Co.)	就發展項目中的住宅物業的出售而代表擁有人行事的律師事務所	: 國浩律師(香港)事務所(前稱施文律師行)
Authorized Institutions that has made a loan, or has undertaken to provide finance for the construction of the Development	: The Hong Kong and Shanghai Banking Corporation Limited (note: the Undertaking has ceased and been determined)	已為發展項目的建造提供貸款或已承諾為該項建造提供融資的認可機構	: 香港上海滙豐銀行有限公司(註: 有關承諾書已經終止)
Other persons who have made a loan for the construction of the Development	: China Overseas Project Development Limited (formerly known as Chung Hoi Finance Limited) (note: the loan has ceased to subsist)	已為發展項目的建造提供貸款的其他人	: 中海業務發展有限公司(前稱中海財務有限公司) (註: 該貸款已終止存續)

### Remarks :

\*Wealth Join Development Limited had assigned the following residential properties to its associated corporations:  
Name of associated corporation [Residential property] : Green Terrace Investments Limited [House 3]; Highwave Investments Limited [House 9]; Delightful Champ Limited [House 11]; Seabase Investments Limited [House 12]

\*\*Houses 1, 2, 5, 6, 8 and 10 are no longer owned by each holding companies of each vendor.

### 附註:

\*益潤發展有限公司已將以下住宅物業轉讓予其有聯繫法團:  
有聯繫法團名稱[住宅物業]: Green Terrace Investments Limited [3號洋房]; Highwave Investments Limited [9號洋房]; Delightful Champ Limited [11號洋房]; Seabase Investments Limited [12號洋房]

\*\*1、2、5、6、8及10號洋房不再由各賣方之各控權公司所持有。

# 04 RELATIONSHIP BETWEEN PARTIES INVOLVED IN THE DEVELOPMENT

## 有參與發展項目的各方的關係

a) The Vendor or a building contractor for the Development is an individual, and that Vendor or contractor is an immediate family member of an authorized person for the Development;	Not Applicable
b) The Vendor or a building contractor for the Development is a partnership, and a partner of that Vendor or contractor is an immediate family member of such an authorized person;	Not Applicable
c) The Vendor or a building contractor for the Development is a corporation, and a director or the secretary of that Vendor or contractor (or a holding company of that Vendor) is an immediate family member of such an authorized person;	Nil
d) The Vendor or a building contractor for the Development is an individual, and that Vendor or contractor is an immediate family member of an associate of such an authorized person;	Not Applicable
e) The Vendor or a building contractor for the Development is a partnership, and a partner of that Vendor or contractor is an immediate family member of an associate of such an authorized person;	Not Applicable
f) The Vendor or a building contractor for the Development is a corporation, and a director or the secretary of that Vendor or contractor (or a holding company of that Vendor) is an immediate family member of an associate of such an authorized person;	Nil
g) The Vendor or a building contractor for the Development is an individual, and that Vendor or contractor is an immediate family member of a proprietor of a firm of solicitors acting for the Owner in relation to the sale of residential properties in the Development;	Not Applicable
h) The Vendor or a building contractor for the Development is a partnership, and a partner of that Vendor or contractor is an immediate family member of a proprietor of a firm of solicitors acting for the Owner in relation to the sale of residential properties in the Development;	Not Applicable
i) The Vendor or a building contractor for the Development is a corporation, and a director or the secretary of that Vendor or contractor (or a holding company of that Vendor) is an immediate family member of a proprietor of such a firm of solicitors;	Nil
j) The Vendor, a holding company of the Vendor, or a building contractor for the Development, is a private company, and an authorized person for the Development, or an associate of such an authorized person, holds at least 10% of the issued shares in that Vendor, holding company or contractor;	Nil

a) 賣方或有關發展項目的承建商屬個人，並屬該項目的認可人士的家人；	不適用
b) 賣方或該項目的承建商屬合夥，而該賣方或承建商的合夥人屬上述認可人士的家人；	不適用
c) 賣方或該項目的承建商屬法團，而該賣方或承建商(或該賣方的控權公司)的董事或秘書屬上述認可人士的家人；	沒有
d) 賣方或該項目的承建商屬個人，並屬上述認可人士的有聯繫人士的家人；	不適用
e) 賣方或該項目的承建商屬合夥，而該賣方或承建商的合夥人屬上述認可人士的有聯繫人士的家人；	不適用
f) 賣方或該項目的承建商屬法團，而該賣方或承建商(或該賣方的控權公司)的董事或秘書屬上述認可人士的有聯繫人士的家人；	沒有
g) 賣方或該項目的承建商屬個人，並屬就該項目內的住宅物業的出售代表擁有人行事的律師事務所行事的經營人的家人；	不適用
h) 賣方或該項目的承建商屬合夥，而該賣方或承建商的合夥人屬就該項目內的住宅物業的出售代表擁有人行事的律師事務所行事的經營人的家人；	不適用
i) 賣方或該項目的承建商屬法團，而該賣方或承建商(或該賣方的控權公司)的董事或秘書屬上述律師事務所的經營人的家人；	沒有
j) 賣方、賣方的控權公司或有關發展項目的承建商屬私人公司，而該項目的認可人士或該認可人士的有聯繫人士持有該賣方、控權公司或承建商最少10%的已發行股份；	沒有

# 04 RELATIONSHIP BETWEEN PARTIES INVOLVED IN THE DEVELOPMENT

## 有參與發展項目的各方的關係

k) The Vendor, a holding company of the Vendor, or a building contractor for the Development, is a listed company, and such an authorized person, or such an associate, holds at least 1% of the issued shares in that Vendor, holding company or contractor;	Nil	k) 賣方、賣方的控權公司或該項目的承建商屬上市公司，而上述認可人士或上述有聯繫人士持有該賣方、控權公司或承建商最少1%的已發行股份；	沒有
l) The Vendor or a building contractor for the Development is a corporation, and such an authorized person, or such an associate, is an employee, director or secretary of that Vendor or contractor or of a holding company of that Vendor;	Nil	l) 賣方或該項目的承建商屬法團，而上述認可人士或上述有聯繫人士屬該賣方、承建商或該賣方的控權公司的僱員、董事或秘書；	沒有
m) The Vendor or a building contractor for the Development is a partnership, and such an authorized person, or such an associate, is an employee of that Vendor or contractor;	Not Applicable	m) 賣方或該項目的承建商屬合夥，而上述認可人士或上述有聯繫人士屬該賣方或承建商的僱員；	不適用
n) The Vendor, a holding company of the Vendor, or a building contractor for the Development, is a private company, and a proprietor of a firm of solicitors acting for the Owner in relation to the sale of residential properties in the Development holds at least 10% of the issued shares in that Vendor, holding company or contractor;	Nil	n) 賣方、賣方的控權公司或該項目的承建商屬私人公司，而就該項目中的住宅物業的出售而代表擁有人行事的律師事務所的經營人持有該賣方、控權公司或承建商最少10%的已發行股份；	沒有
o) The Vendor, a holding company of the Vendor, or a building contractor for the Development, is a listed company, and a proprietor of such a firm of solicitors holds at least 1% of the issued shares in that Vendor, holding company or contractor;	Nil	o) 賣方、賣方的控權公司或該項目的承建商屬上市公司，而上述律師事務所的經營人持有該賣方、控權公司或承建商最少1%的已發行股份；	沒有
p) The Vendor or a building contractor for the Development is a corporation, and a proprietor of such a firm of solicitors is an employee, director or secretary of that Vendor or contractor or of a holding company of that Vendor;	Nil	p) 賣方或該項目的承建商屬法團，而上述律師事務所的經營人屬該賣方或承建商或該賣方的控權公司的僱員、董事或秘書；	沒有
q) The Vendor or a building contractor for the Development is a partnership, and a proprietor of such a firm of solicitors is an employee of that Vendor or contractor;	Not Applicable	q) 賣方或該項目的承建商屬合夥，而上述律師事務所的經營人屬該賣方或承建商的僱員；	不適用
r) The Vendor or a building contractor for the Development is a corporation, and the corporation of which an authorized person for the Development is a director or employee in his or her professional capacity is an associate corporation of that Vendor or contractor or of a holding company of that Vendor;	Nil	r) 賣方或該項目的承建商屬法團，而該項目的認可人士以其專業身分擔任董事或僱員的法團為該賣方或承建商或該賣方的控權公司的有聯繫法團；	沒有
s) The Vendor or a building contractor for the Development is a corporation, and that contractor is an associate corporation of that Vendor or of a holding company of that Vendor.	Nil	s) 賣方或該項目的承建商屬法團，而該承建商屬該賣方或該賣方的控權公司的有聯繫法團；	沒有

## 05 INFORMATION ON DESIGN OF THE DEVELOPMENT 發展項目的設計的資料

There is no non-structural prefabricated external wall or curtain wall forming part of the enclosing walls in the Development.

本項目沒有構成圍封牆的一部份的任何非結構的預製外牆或幕牆。

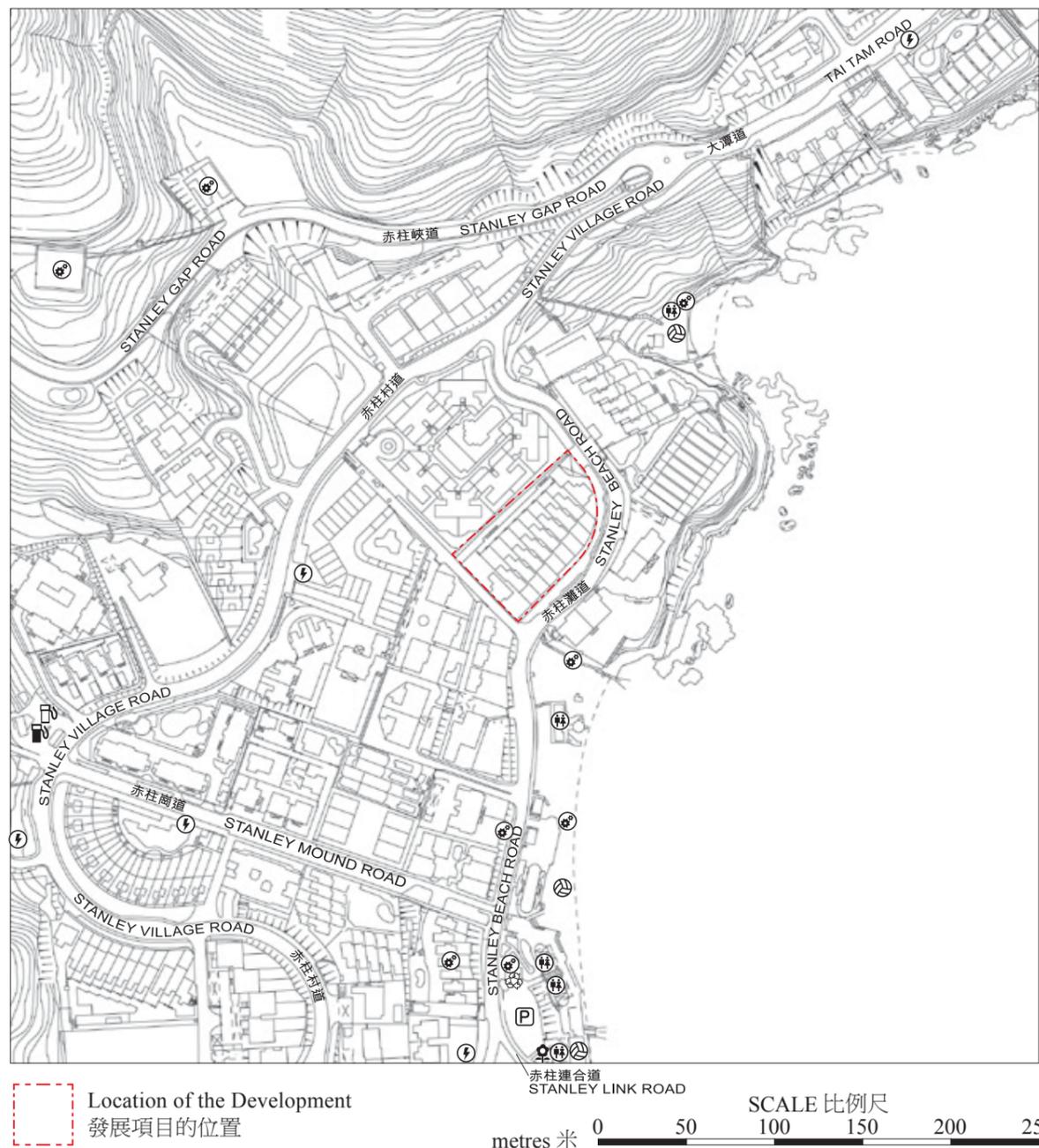
## 06 INFORMATION ON PROPERTY MANAGEMENT 物業管理的資料

China Overseas Property Services Limited is appointed as the manager of the Development under the executed deed of mutual covenant.

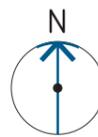
根據有關已簽立的公契，中國海外物業服務有限公司獲委任為發展項目的管理人。

# 07 LOCATION PLAN OF THE DEVELOPMENT

## 發展項目的所在位置圖



The map is provided by the Common Spatial Data Infrastructure (CSDI) Portal and intellectual property rights are owned by the Government of the HKSAR.  
地圖由空間數據共享平台提供，香港特別行政區政府為知識產權擁有人。



The Location Plan is prepared by the Vendor with reference to the Digital Topographic Map Nos. T15-NE-7D dated 2 April 2024 and T15-NE-12B dated 12 November 2024 from Survey and Mapping Office of the Lands Department, with adjustments where necessary.

此所在位置圖是由賣方擬備並參考地政總署測繪處於2024年4月2日出版之數碼地形圖，圖幅編號T15-NE-7D及於2024年11月12日出版之數碼地形圖，圖幅編號T15-NE-12B，有需要處經修正處理。

NOTATION 圖例：

- |  |  |  |                               |
|--|--|--|-------------------------------|
|  | Power Plant<br>(including Electricity Sub-station)<br>發電廠 (包括電力分站)                   |  | Petrol Filling Station<br>油站  |
|  | Public Utility Installation<br>公用事業設施裝置  |  | LPG Filling Station<br>石油氣加氣站 |
|  | Sports Facilities<br>(including Sports Ground and Swimming Pool)<br>體育設施 (包括運動場及游泳池) |  |                               |
|  | Public Convenience<br>公廁   |  |                               |
|  | Public Carpark (including Lorry Park)<br>公眾停車場 (包括貨車停泊處)                             |  |                               |
|  | Public Park<br>公園  |  |                               |
|  | Refuse Collection Point<br>垃圾收集站   |  |                               |

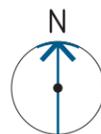
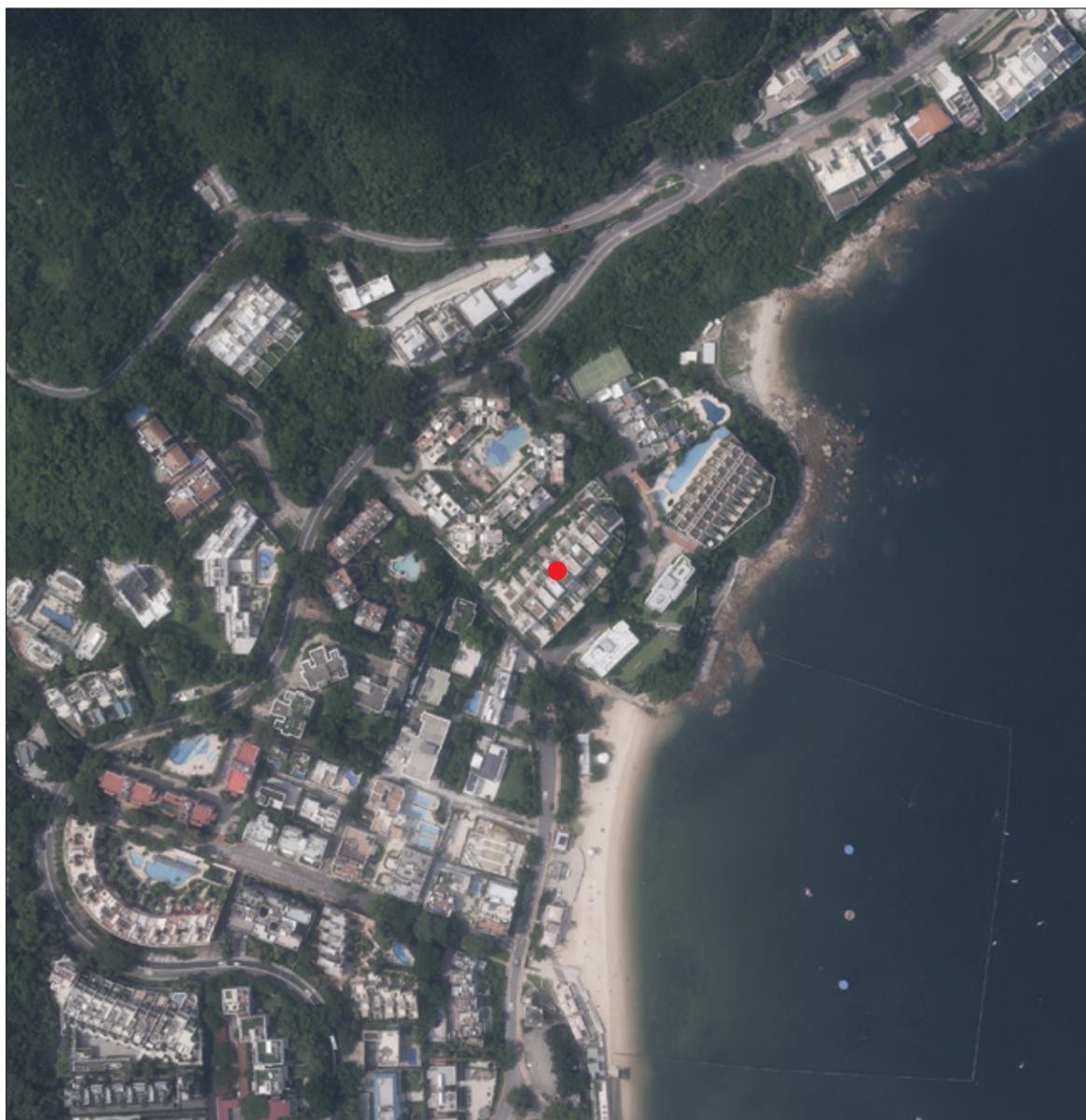
Notes:

- The Vendor advises prospective purchasers to conduct an on-site visit for a better understanding of the development site, its surrounding environment and the public facilities nearby.
- The Location Plan may show more than the area required under the Residential Properties (First-hand Sales) Ordinance due to technical reason that the boundary of the Development is irregular.

備註：

- 賣方建議準買家到有關發展地盤作實地考察，以對該發展地盤、其周邊地區環境及附近的公共設施有較佳的了解。
- 由於發展項目的邊界不規則的技術原因，此所在位置圖所顯示的範圍可能超過《一手住宅物業銷售條例》所規定的範圍。

# 08 AERIAL PHOTOGRAPH OF THE DEVELOPMENT 發展項目的鳥瞰照片



Adopted from part of the aerial photograph taken by the Survey and Mapping Office of the Lands Department at a flying height of 6,000 feet, photo No. E227488C, date of flight: 7th August 2024.

摘錄自地政總署測繪處在6,000呎的飛行高度拍攝之鳥瞰照片，照片編號為E227488C，飛行日期：2024年8月7日。

● Location of the Development  
發展項目的位置

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香港特別行政區政府地政總署測繪處 © 版權所有，未經許可，不得複製。

Notes:

1. Copy of the aerial photograph of the Development is available for free inspection at the sales office during opening hours.
2. The aerial photograph may show more than the area required under the Residential Properties (First-hand Sales) Ordinance due to technical reason that the boundary of the Development is irregular.

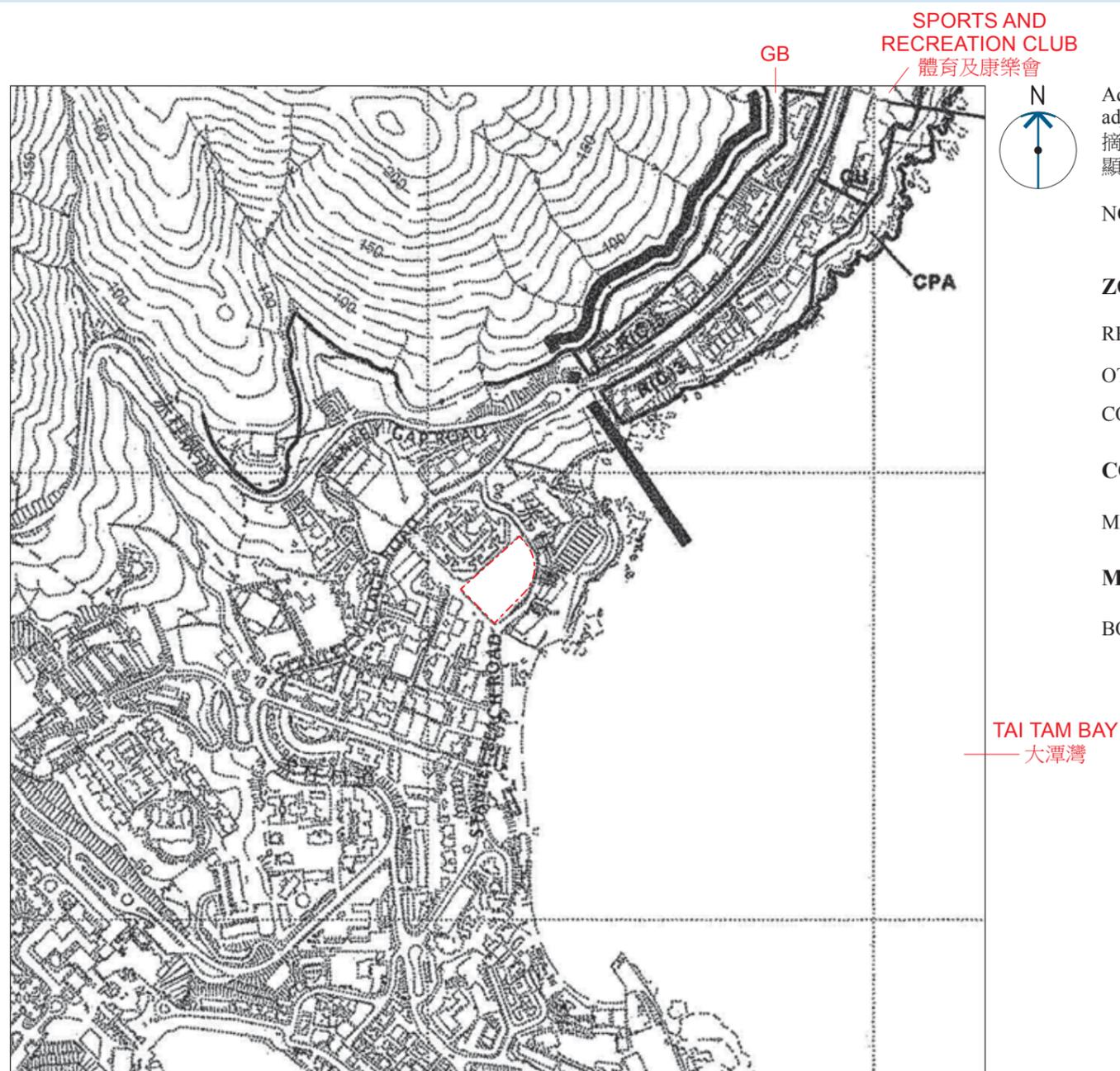
備註：

1. 發展項目的鳥瞰照片之副本可於售樓處開放時間內免費查閱。
2. 由於發展項目的邊界不規則的技術原因，此鳥瞰照片所顯示的範圍可能超過《一手住宅物業銷售條例》所規定的範圍。



# 09 OUTLINE ZONING PLAN RELATING TO THE DEVELOPMENT

## 關於發展項目的分區計劃大綱圖



SPORTS AND RECREATION CLUB  
體育及康樂會



Adopted from part of the Approved Tai Tam & Shek O Outline Zoning Plan, Plan No. S/H18/10 gazetted on 16 May 2008, with adjustments where necessary as shown in red.  
摘錄自2008年5月16日刊憲之大潭及石澳分區計劃大綱核准圖，圖則編號為S/H18/10，有需要處經修正處理，以紅色顯示。

NOTATION 圖例：

**ZONES**

RESIDENTIAL (GROUP C)



**地帶**

住宅(丙類)

OTHER SPECIFIED USES



其他指定用途

COASTAL PROTECTION AREA



海岸保護區

**COMMUNICATIONS**

**交通**

MAJOR ROAD AND JUNCTION



主要道路及路口

**MISCELLANEOUS**

**其他**

BOUNDARY OF PLANNING SCHEME



規劃範圍界線

TAI TAM BAY  
大潭灣

Location of the Development  
發展項目的位置



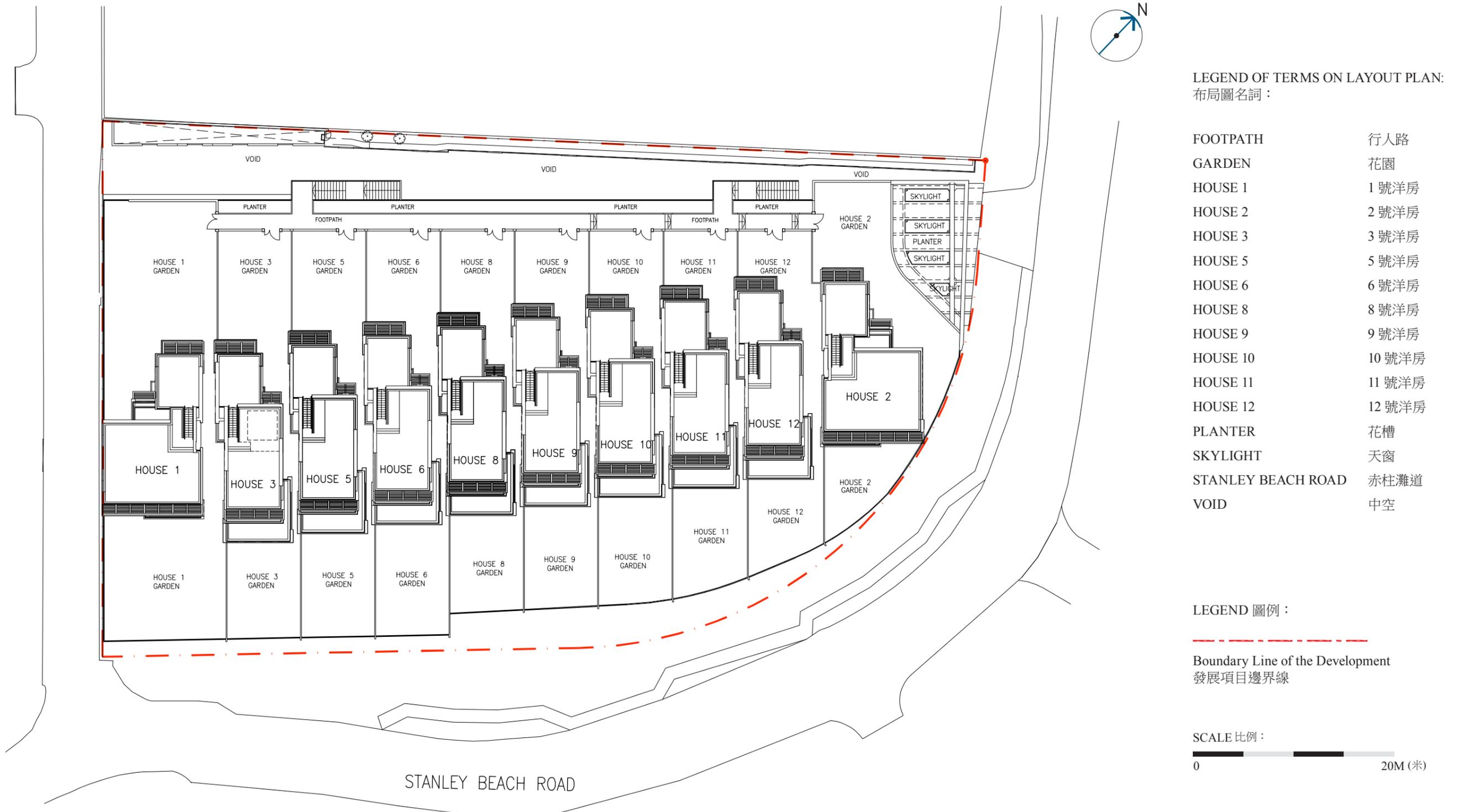
Notes:

1. The last updated Outline Zoning Plan and the attached schedule as at the date of printing of the sales brochure are available for free inspection at the sales office during opening hours.
2. The plan may show more than the area required under the Residential Properties (First-hand Sales) Ordinance due to technical reason that the boundary of the Development is irregular.
3. The Vendor also advises prospective purchasers to conduct an on-site visit for a better understanding of the development site, its surrounding environment and the public facilities nearby.
4. The plan, prepared by the Planning Department under the direction of the Town Planning Board, is reproduced with the permission of the Director of Lands. ©The Government of Hong Kong SAR.

備註：

1. 在印刷售樓說明書當日所適用的最近期分區計劃大綱圖及其附表，可於售樓處開放時間內免費查閱。
2. 由於發展項目的邊界不規則的技術原因，此圖所顯示的範圍可能超過《一手住宅物業銷售條例》所規定的範圍。
3. 賣方亦建議準買家到有關發展地盤作實地考察，以對該發展地盤、其周邊地區環境及附近的公共設施有較佳了解。
4. 此圖為規劃署遵照城市規劃委員會指示擬備，版權屬香港特別行政區政府，經地政總署准許複印。

# 10 LAYOUT PLAN OF THE DEVELOPMENT 發展項目的布局圖



LEGEND OF TERMS ON LAYOUT PLAN:  
布局圖名詞：

FOOTPATH	行人路
GARDEN	花園
HOUSE 1	1 號洋房
HOUSE 2	2 號洋房
HOUSE 3	3 號洋房
HOUSE 5	5 號洋房
HOUSE 6	6 號洋房
HOUSE 8	8 號洋房
HOUSE 9	9 號洋房
HOUSE 10	10 號洋房
HOUSE 11	11 號洋房
HOUSE 12	12 號洋房
PLANTER	花槽
SKYLIGHT	天窗
STANLEY BEACH ROAD	赤柱灘道
VOID	中空

LEGEND 圖例：

-----  
Boundary Line of the Development  
發展項目邊界線

SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### Legend of Terms and Abbreviations on Floor Plans: 樓面平面圖中的名稱及簡稱：

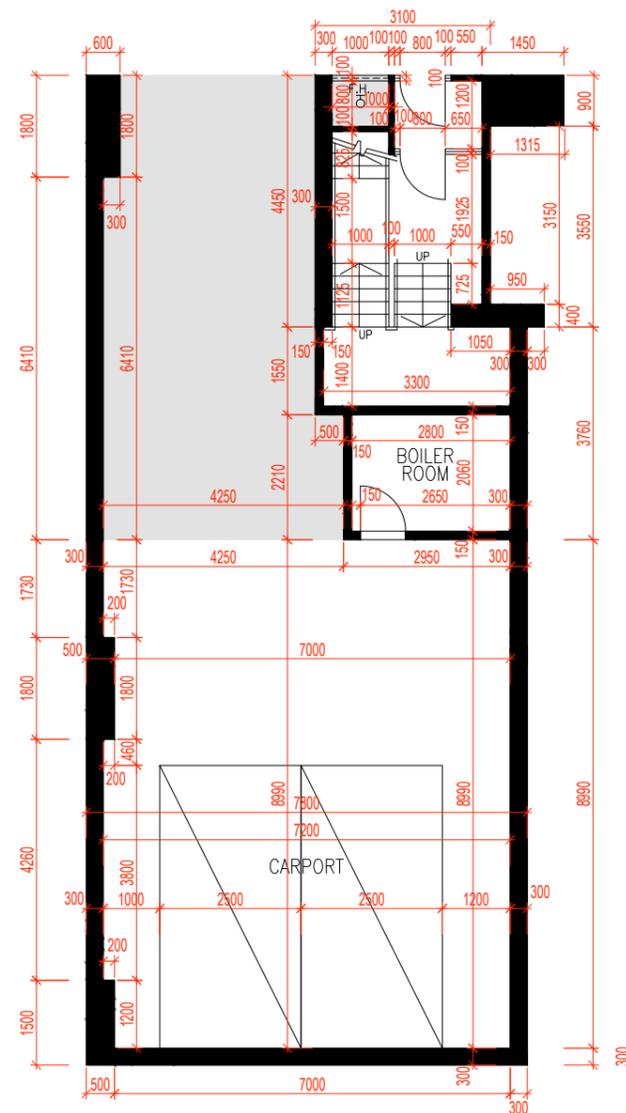
BALCONY	露台	H.R. = HOSE REEL	消防喉轆
BALCONY ABOVE	露台置上	HOSE REEL AT L/L - HOSE REEL AT LOW LEVEL	消防喉轆於低位
BATH = BATHROOM	浴室	KITCHEN	廚房
BEDROOM	睡房	LAV. = LAVATORY	洗手間
BOILER ROOM	熱水爐房	LIVING ROOM	客廳
BUILDING LINE ABOVE	建築物邊線置上	LOWER FLAT ROOF	低層平台
B.W. = BAY WINDOW	窗台	METAL GRILLE SUNSHADES	金屬格柵遮陽板
CARPORT	車庫	METAL GRILLE SUNSHADES ABOVE	金屬格柵遮陽板置上
DINING ROOM	飯廳	P.D. = PIPE DUCT	管道槽
DN = DOWN	向下	PLANTER	花槽
FAMILY ROOM	家庭室	STONE CLADDING	石質覆蓋板
FLAT ROOF	平台	STONE CLADDING ABOVE	石質覆蓋板置上
FLAT ROOF ABOVE	平台置上	TEMPERED GLASS PARAPET WALL	強化玻璃護牆
F.H. = FIRE HOSE	消防喉	UP	向上
GARDEN	花園	UPPER FLAT ROOF	上層平台

# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 1 1號洋房

Remark: House 1 is no longer owned by the Vendor or the holding companies of Vendor  
備註：1號洋房已非由賣方或賣方的控權公司所擁有



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200, 300
G/F 地下	150
1/F 一樓	150, 200
2/F 二樓	175
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4500
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：



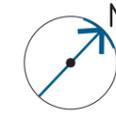
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 1 1號洋房

Remark: House 1 is no longer owned by the Vendor or the holding companies of Vendor  
備註：1號洋房已非由賣方或賣方的控權公司所擁有

GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

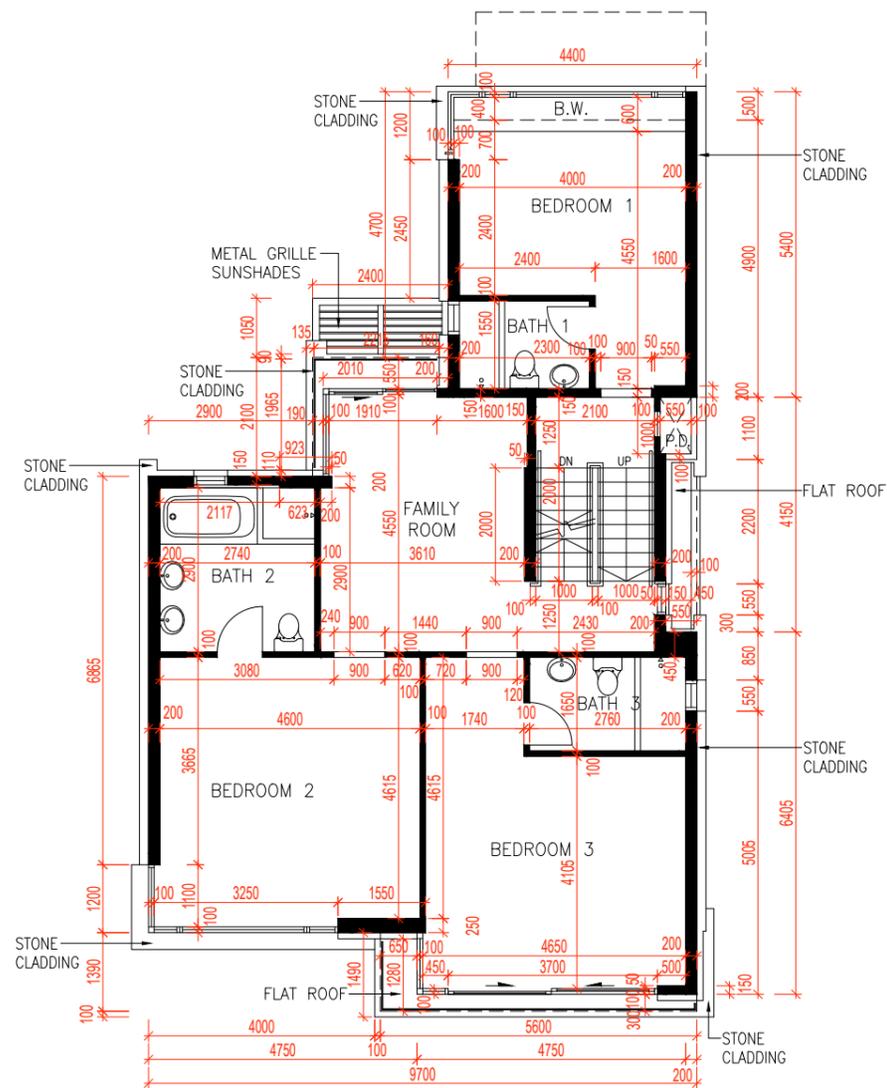


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

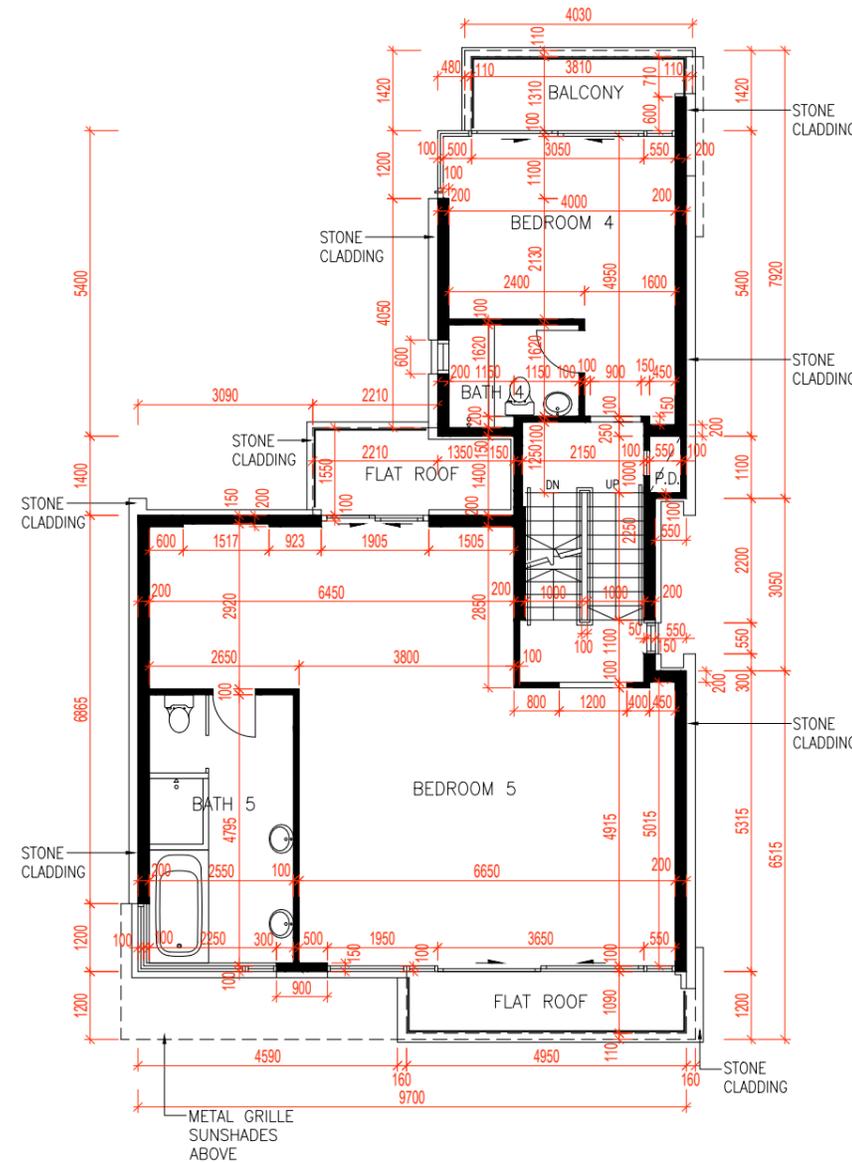
## 發展項目的住宅物業的樓面平面圖

### HOUSE 1 1號洋房

Remark: House 1 is no longer owned by the Vendor or the holding companies of Vendor  
備註：1號洋房已非由賣方或賣方的控股公司所擁有



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

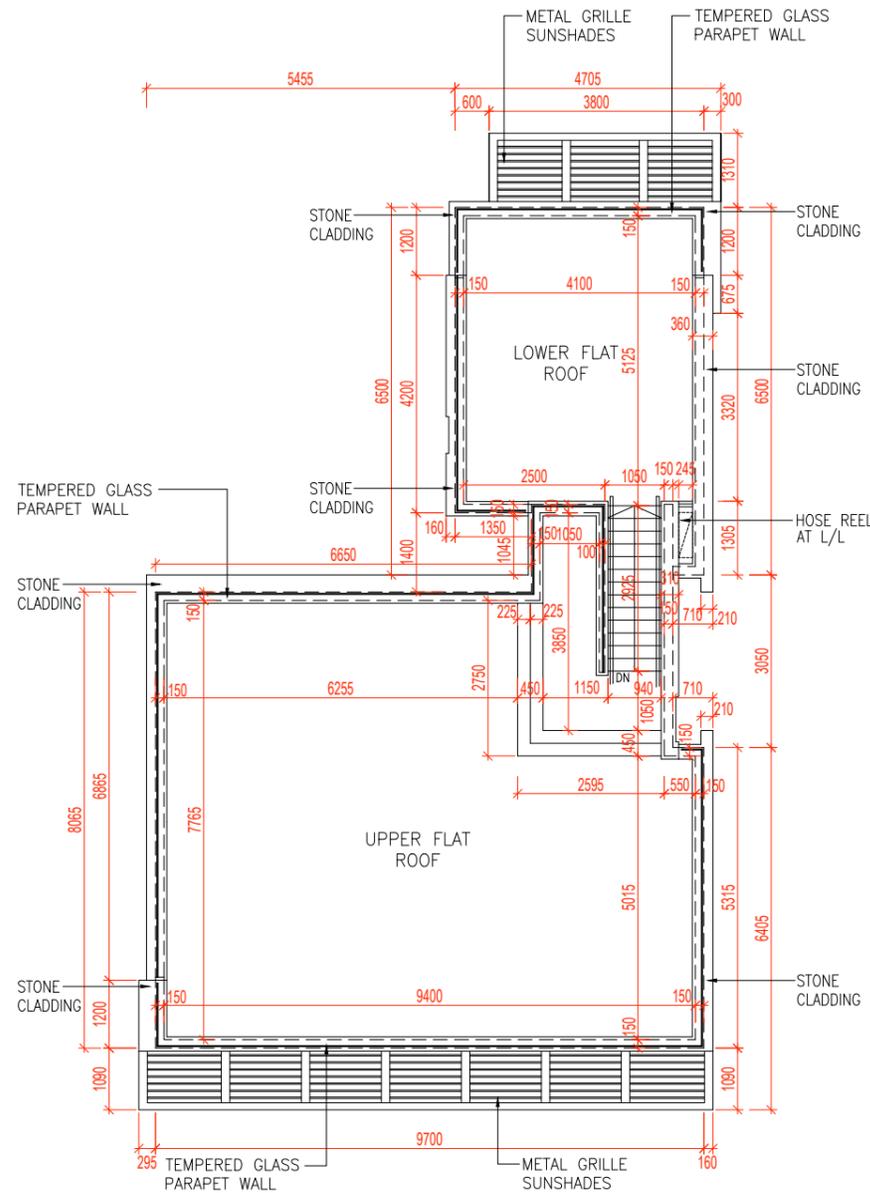


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

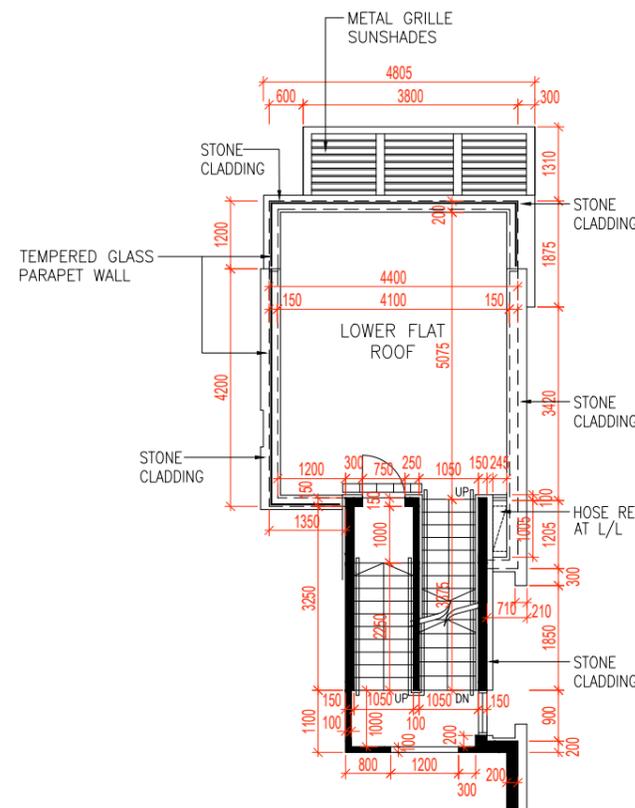
## 發展項目的住宅物業的樓面平面圖

### HOUSE 1 1號洋房

Remark: House 1 is no longer owned by the Vendor or the holding companies of Vendor  
備註：1號洋房已非由賣方或賣方的控股公司所擁有



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

- The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
- The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：

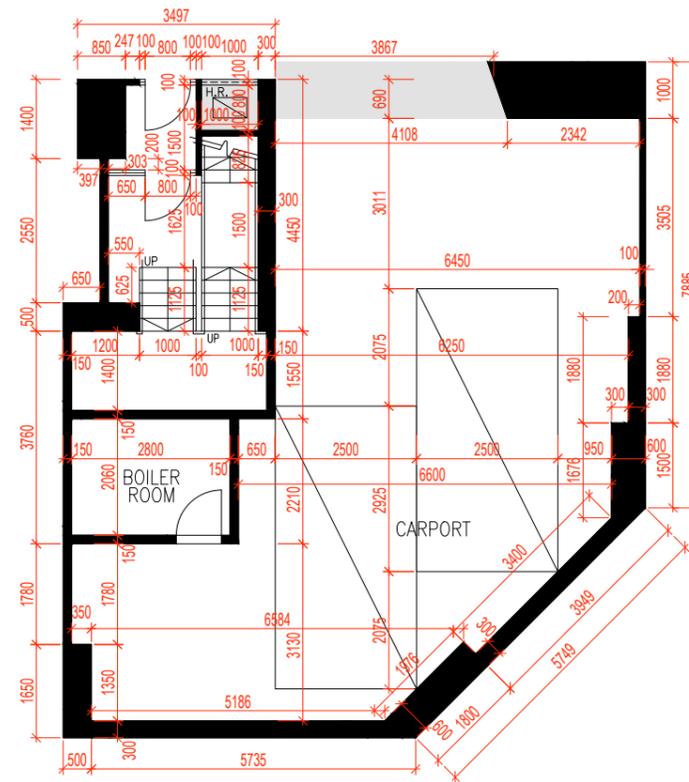


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 2 2號洋房

Remark: House 2 is no longer owned by the Vendor or the holding companies of Vendor  
備註：2號洋房已非由賣方或賣方的控股公司所擁有



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 200
2/F 二樓	150, 175
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4225
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

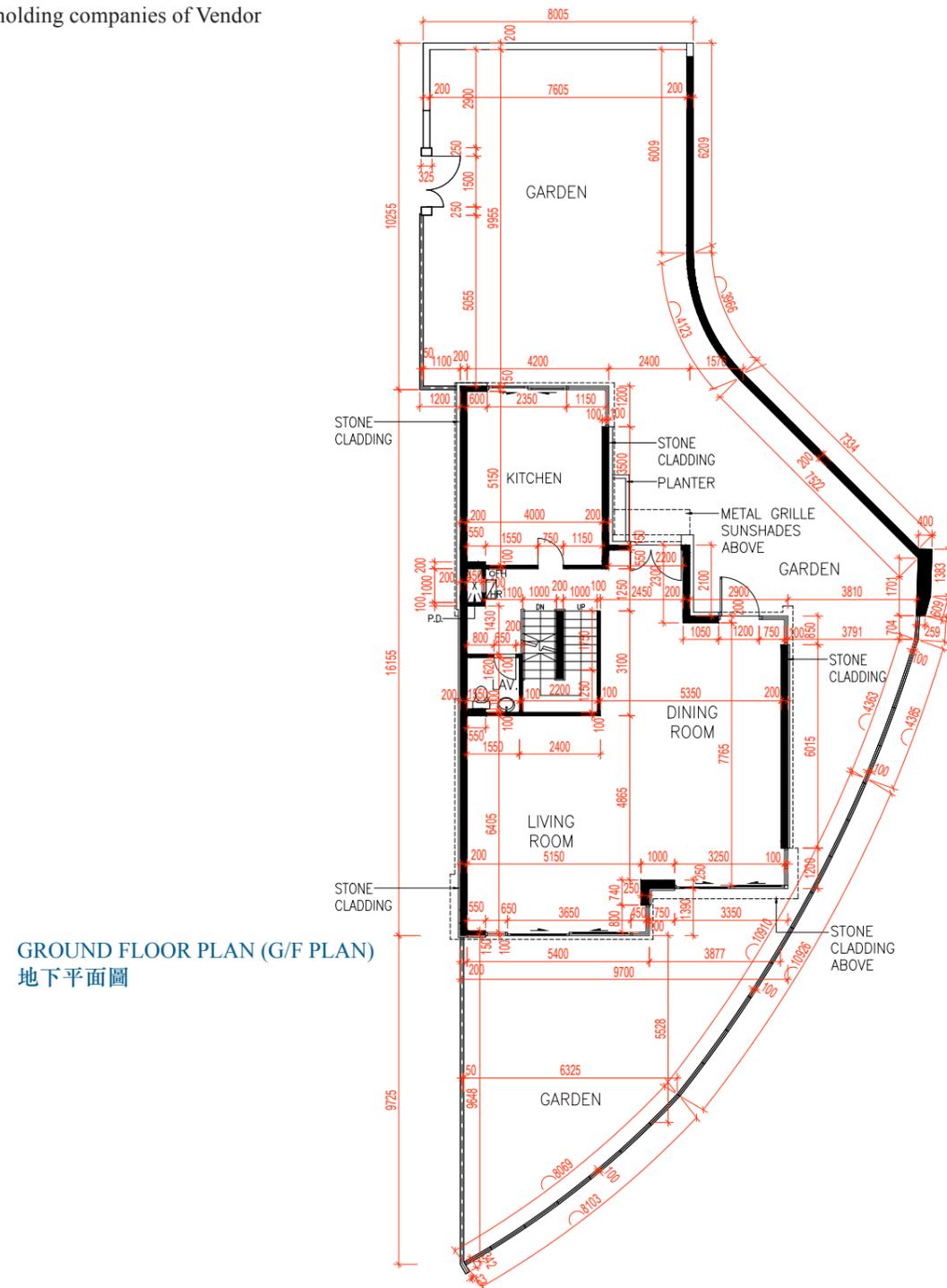
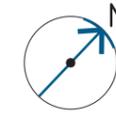


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 2 2號洋房

Remark: House 2 is no longer owned by the Vendor or the holding companies of Vendor  
備註：2號洋房已非由賣方或賣方的控股公司所擁有



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

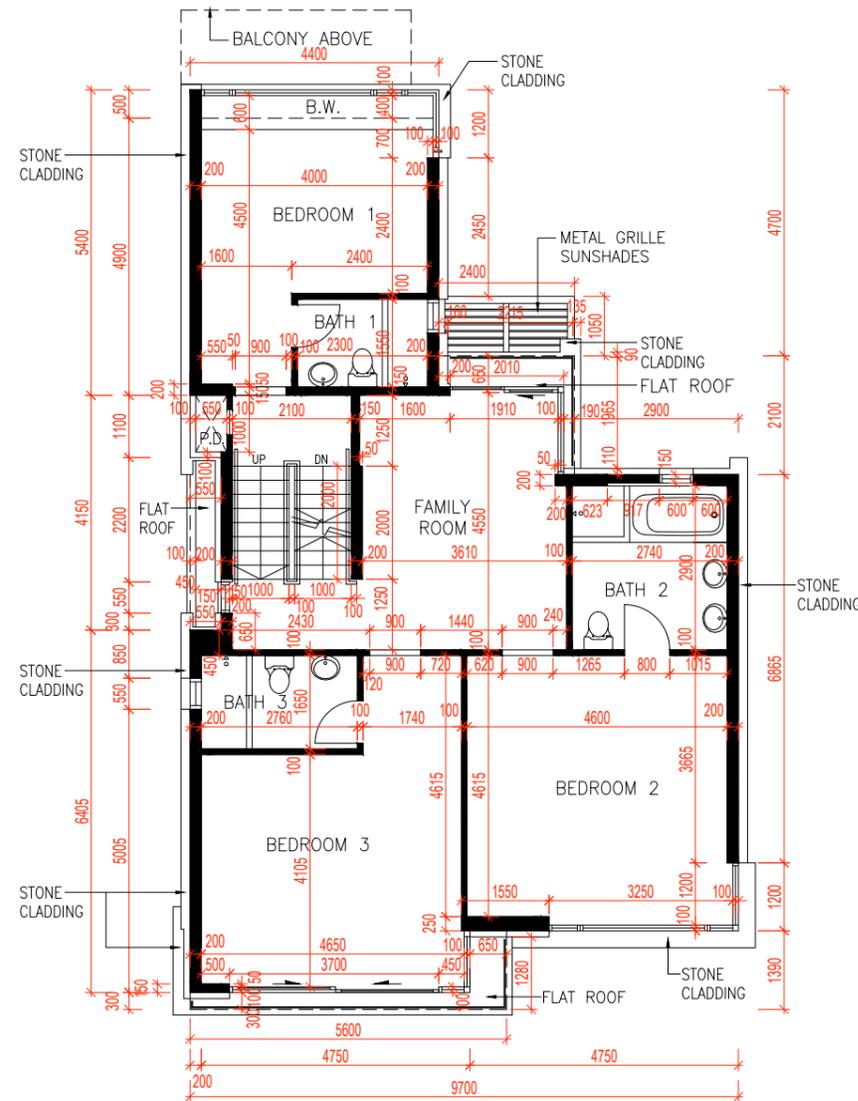


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

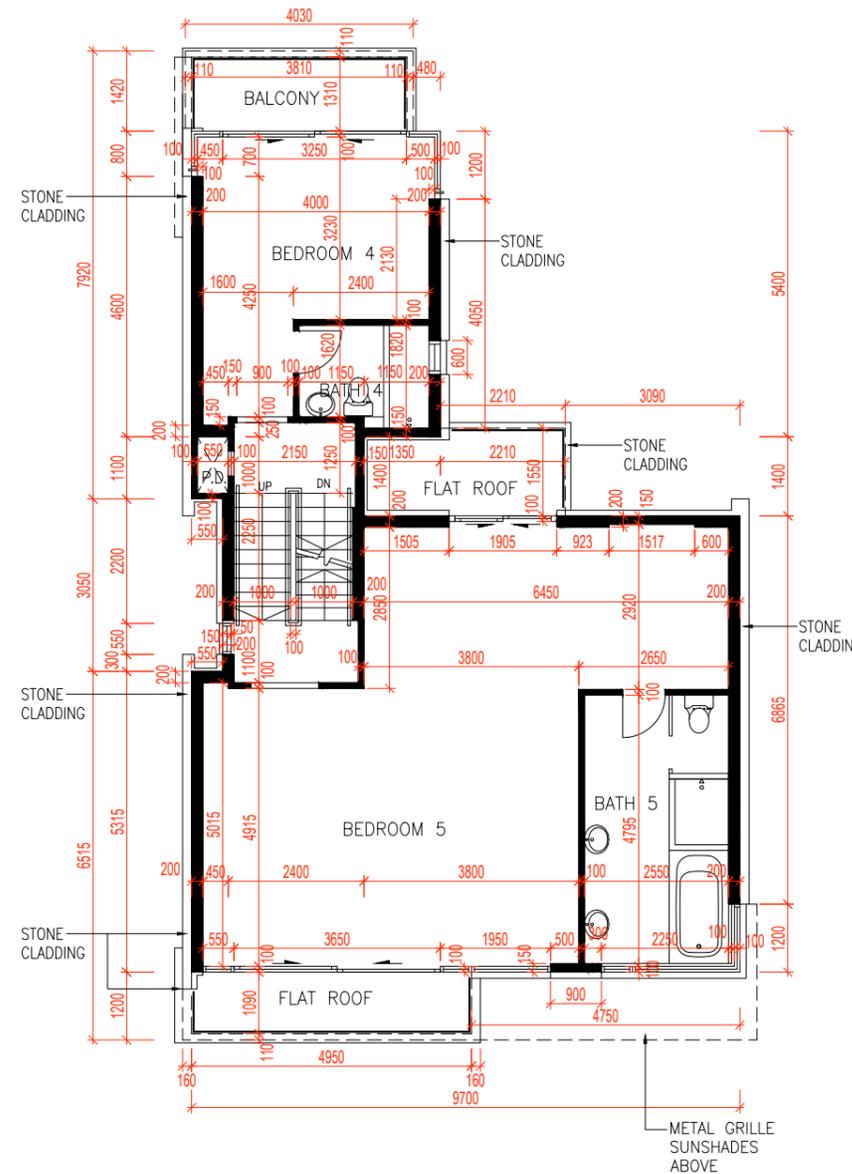
## 發展項目的住宅物業的樓面平面圖

### HOUSE 2 2號洋房

Remark: House 2 is no longer owned by the Vendor or the holding companies of Vendor  
備註：2號洋房已非由賣方或賣方的控股公司所擁有



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

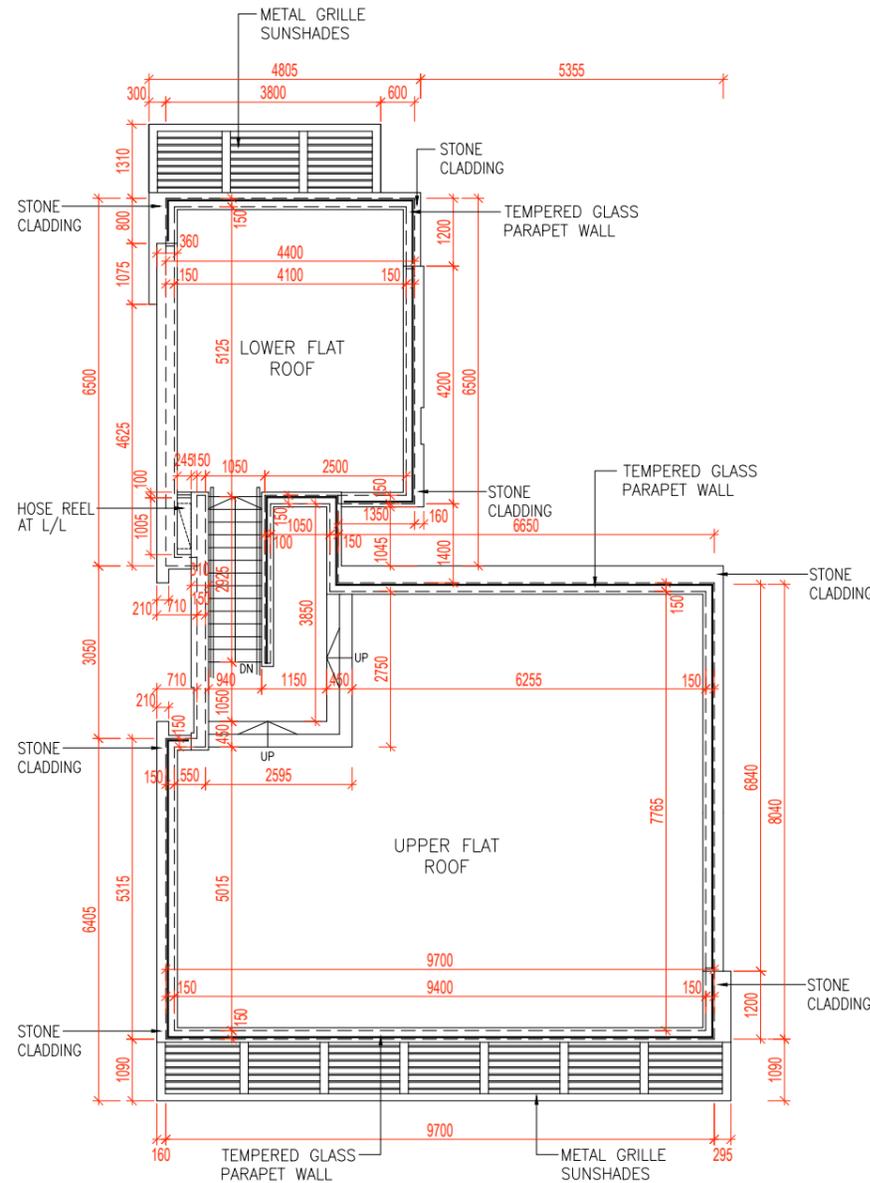


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

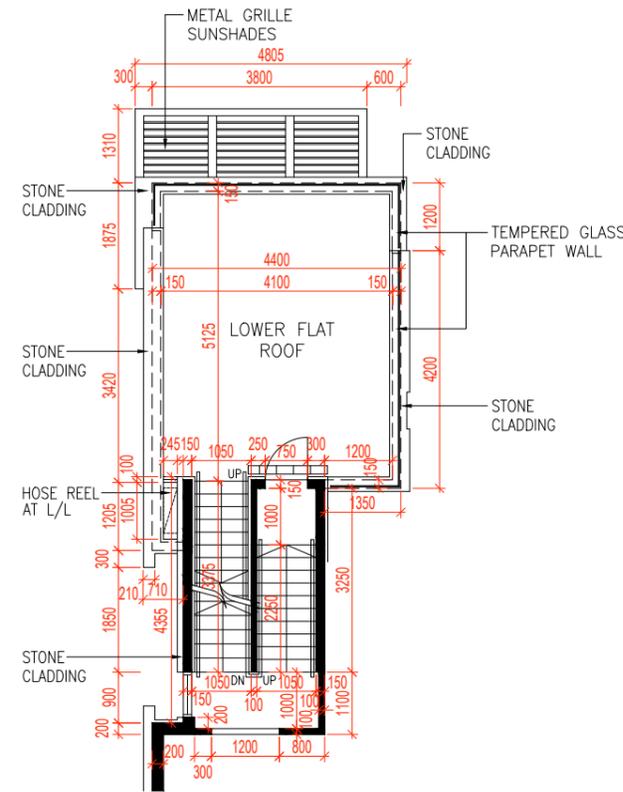
## 發展項目的住宅物業的樓面平面圖

### HOUSE 2 2號洋房

Remark: House 2 is no longer owned by the Vendor or the holding companies of Vendor  
備註：2號洋房已非由賣方或賣方的控股公司所擁有



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
3. The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.  
樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

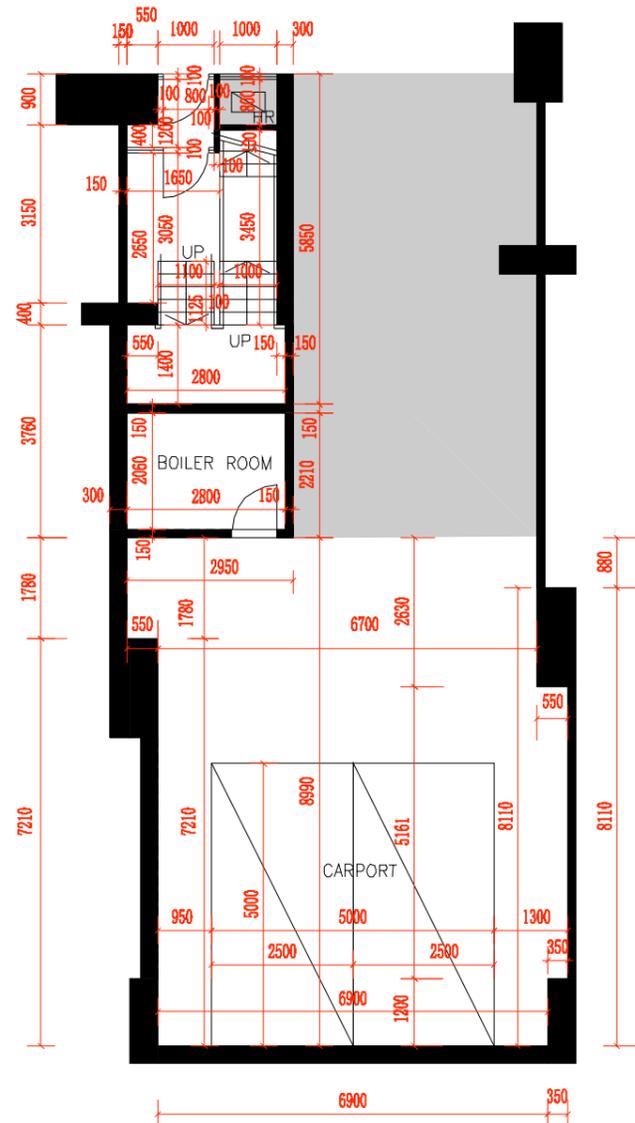
SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 3 3號洋房



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

#### Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175
G/F 地下	150, 175
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	3750, 4350, 4500
G/F 地下	2825, 2975, 4300, 4500
1/F 一樓	3275, 3300, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

#### Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

#### SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

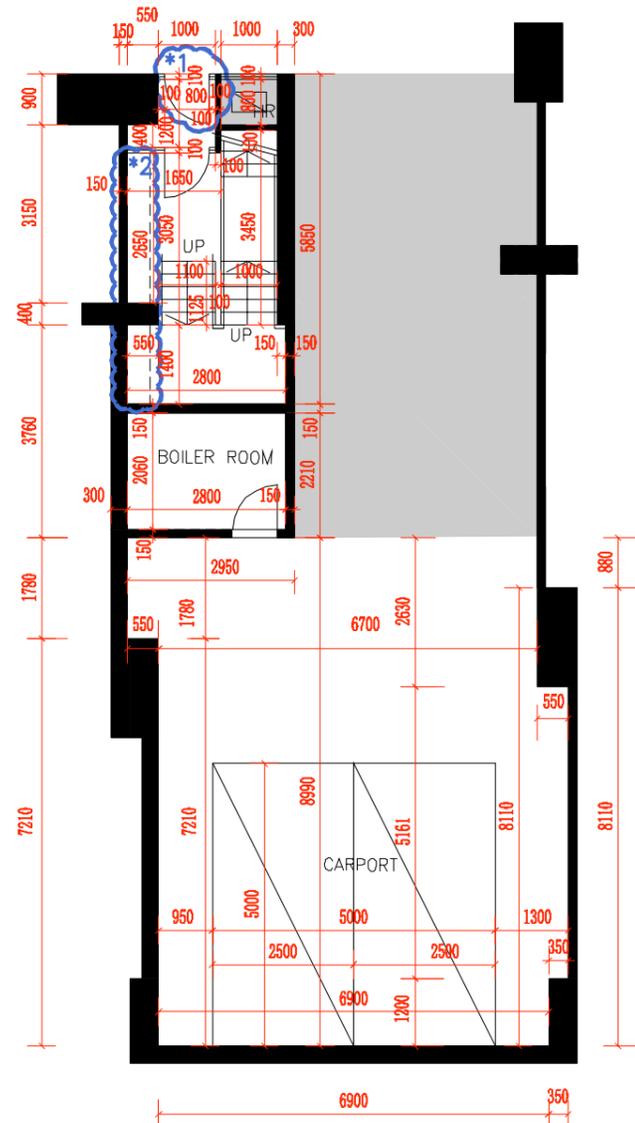
## 發展項目的住宅物業的樓面平面圖

### LATEST LAYOUT FLOOR PLAN

#### 現狀間隔樓面平面圖

#### HOUSE 3

#### 3號洋房



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

#### House 3 Lower Ground Floor (LG/F)

House 3 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Door swing direction has been changed
2. Cabinet has been installed

#### 3號洋房低層地下

3號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 門的開啟方向已改變
2. 櫃已安裝

#### Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

#### SCALE 比例：

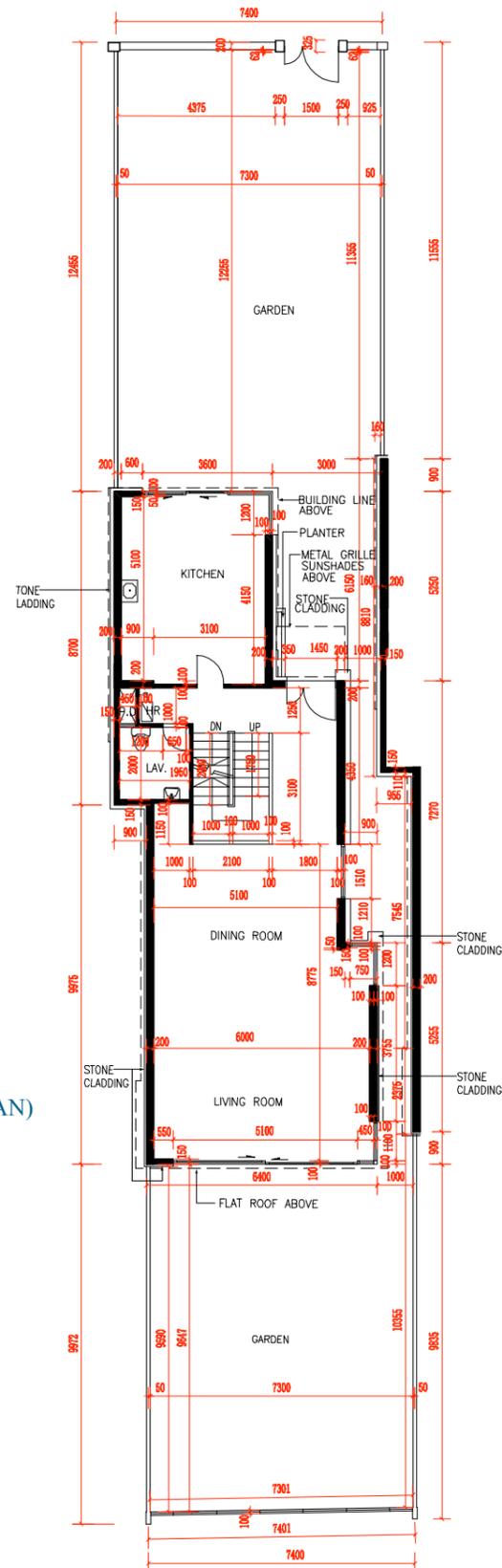


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 3 3號洋房

GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

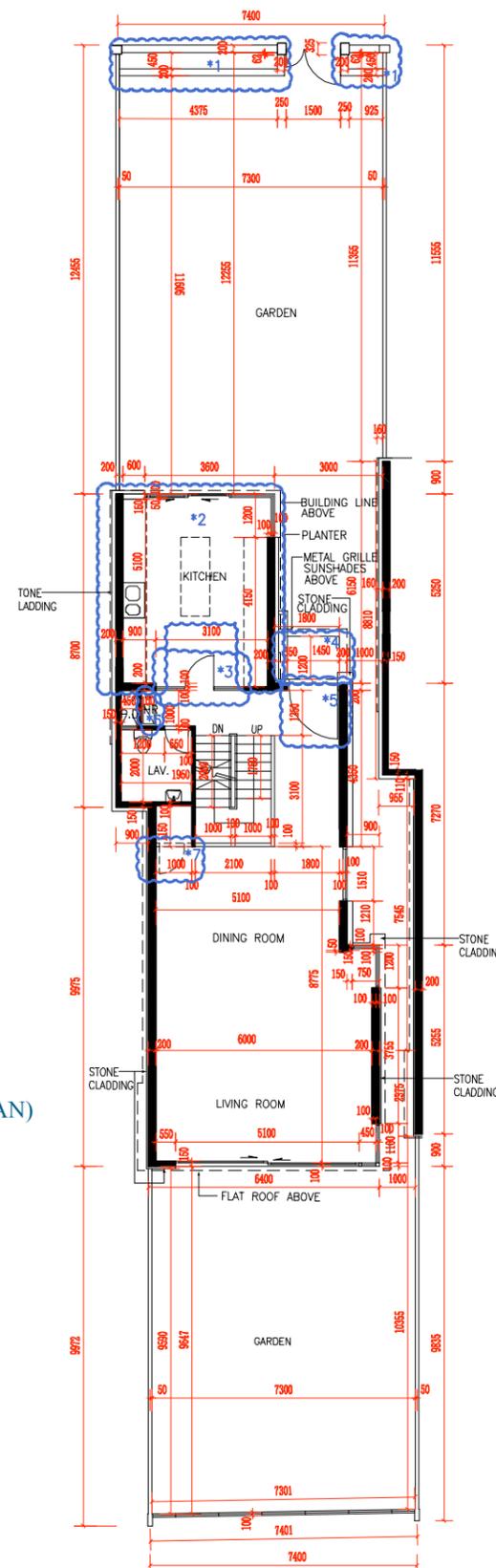
## 發展項目的住宅物業的樓面平面圖

### LATEST LAYOUT FLOOR PLAN

### 現狀間隔樓面平面圖

### HOUSE 3 3號洋房

GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



### House 3 Ground Floor (G/F)

House 3 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Planter has been added
2. Kitchen wooden cabinets have been installed. Sink unit has been replaced
3. Door swing direction has been changed
4. Curb has been added
5. Entrance door has been changed to single leaf door
6. Cabinet has been installed
7. Swing door has been installed

### 3號洋房地下

3號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 已添加花槽
2. 廚房木製櫃已安裝。洗手盆已更換
3. 門的開啟方向已更改
4. 已添加路緣
5. 入口門已更換為單扇門
6. 櫃已安裝
7. 已安裝掩門

### Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

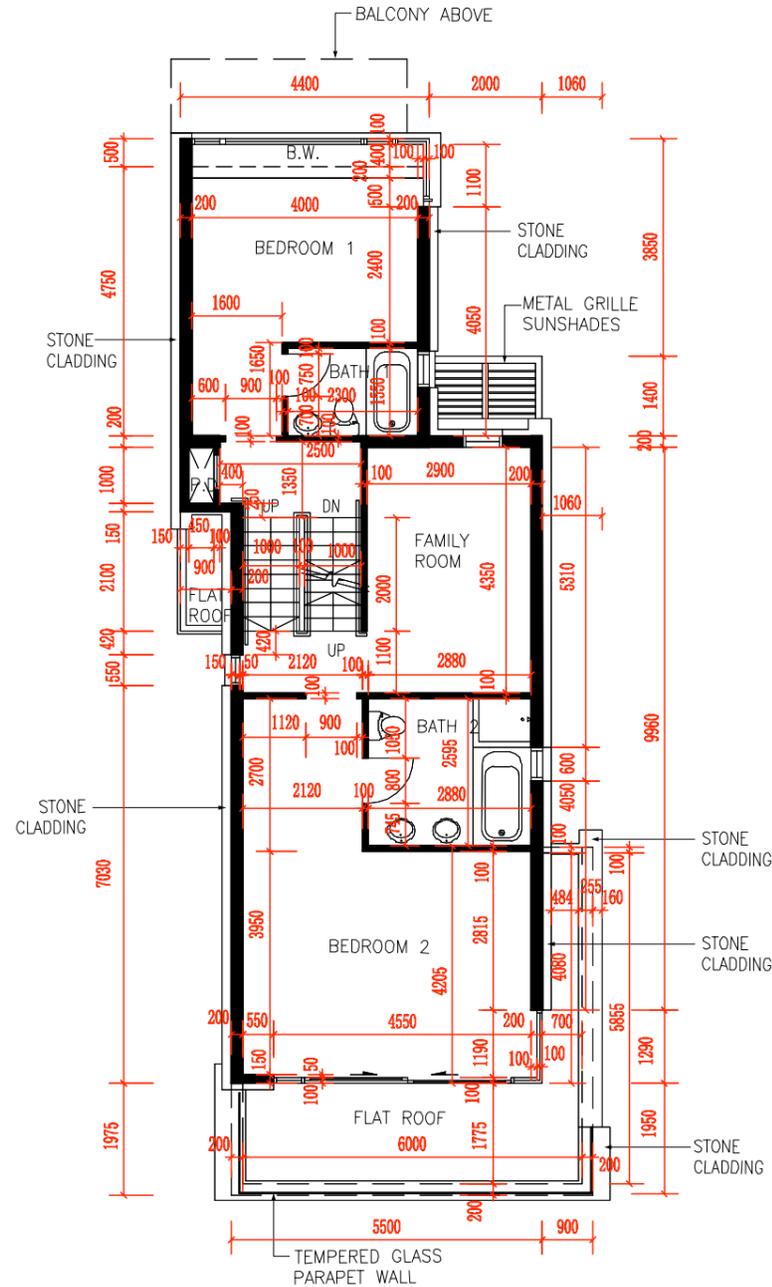
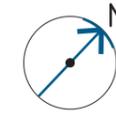
### SCALE 比例：



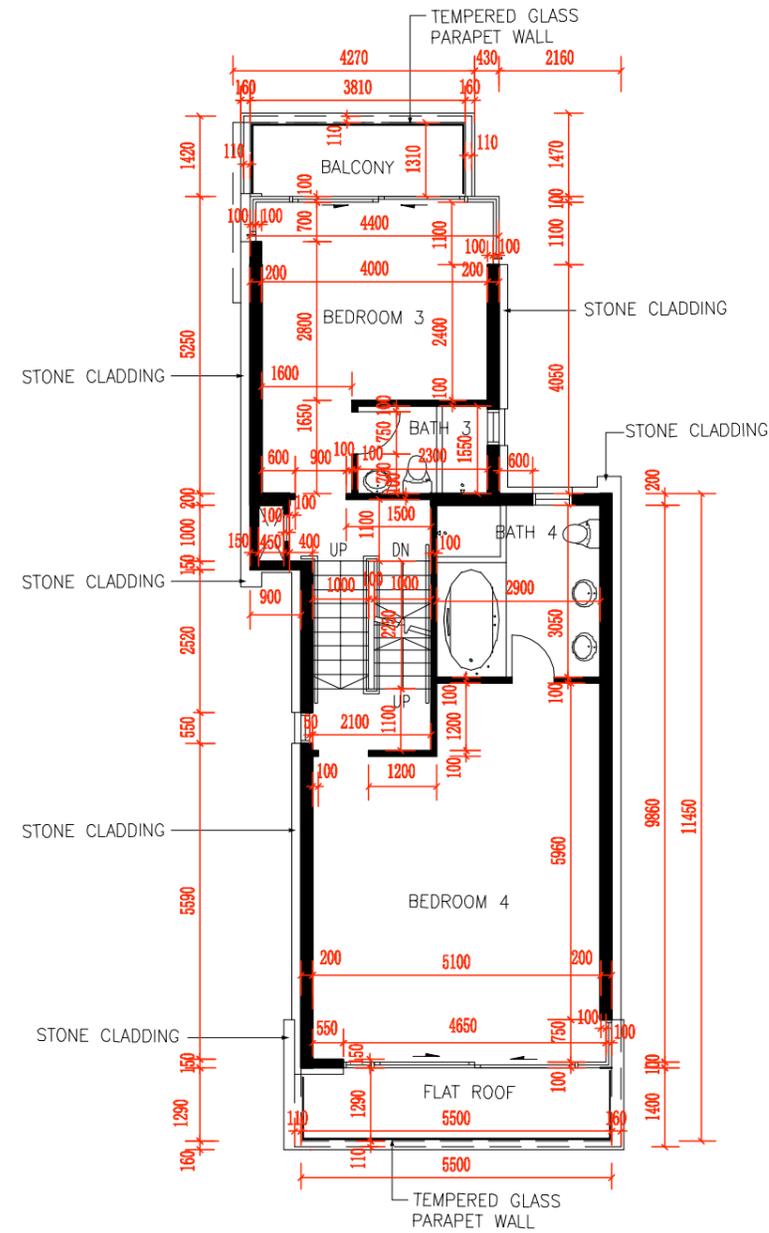
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 3 3號洋房



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：



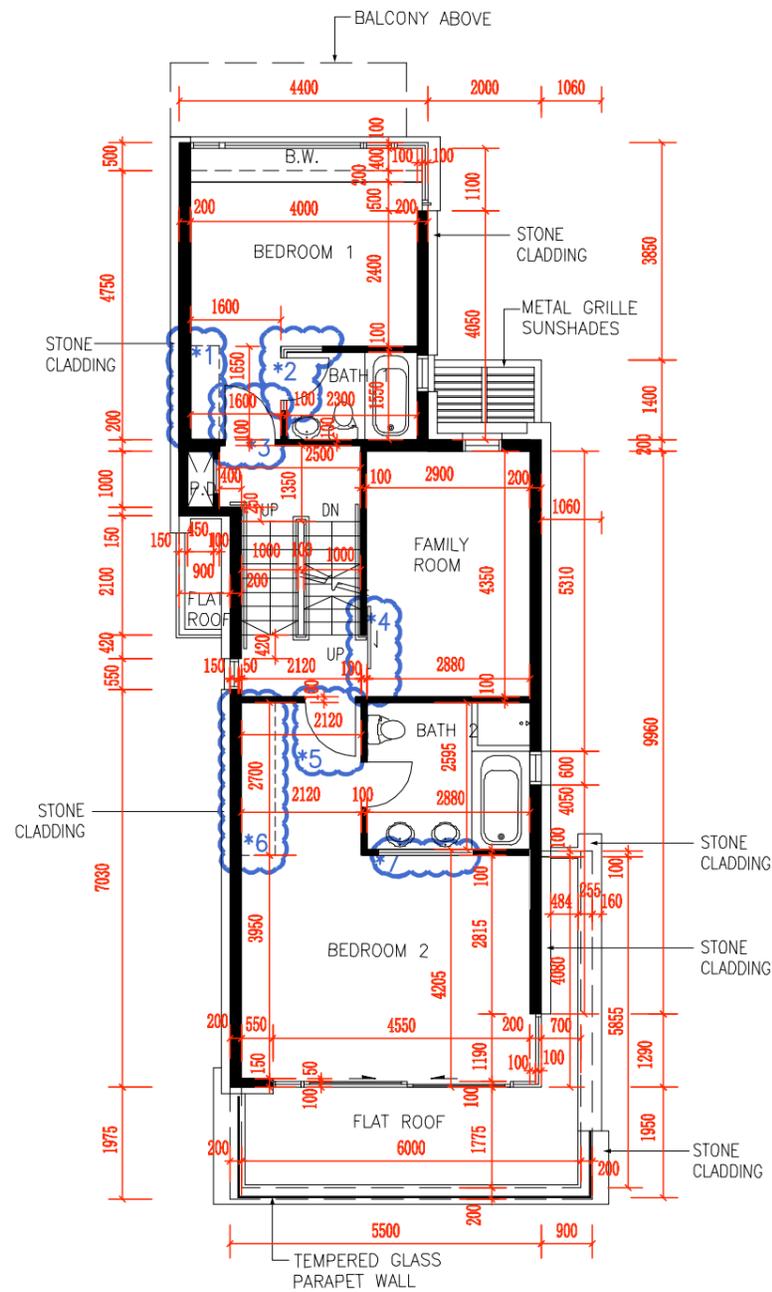
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

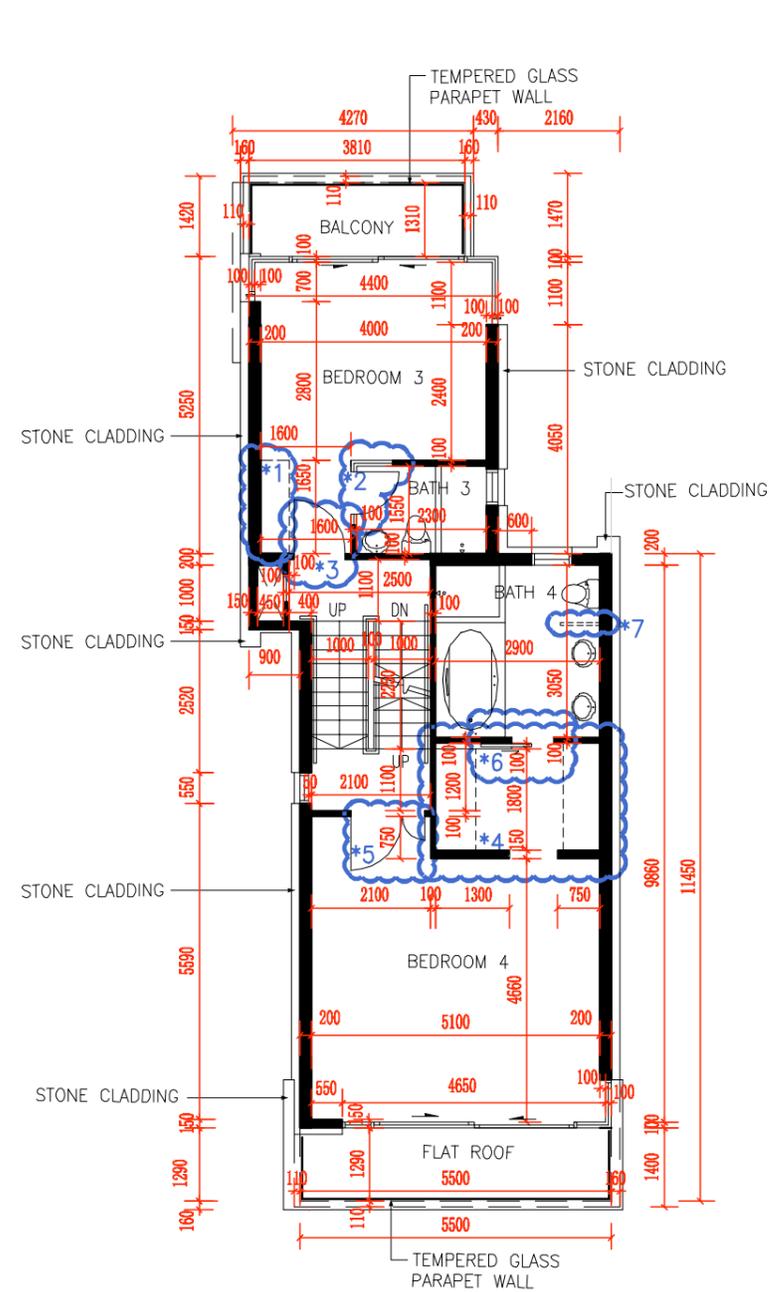
### LATEST LAYOUT FLOOR PLAN

### 現狀間隔樓面平面圖

### HOUSE 3 3號洋房



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖



### House 3 First Floor (1/F)

House 3 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Cabinet has been installed
2. Part of partition wall has been changed to glass partition
3. Swing door has been installed
4. Sliding door has been installed
5. Swing door has been installed
6. Cabinet has been installed
7. Part of partition wall has been changed to glass partition

### 3號洋房1樓

3號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號):

1. 櫃已安裝
2. 部分隔牆已更換為玻璃隔牆
3. 已安裝掩門
4. 已安裝趟門
5. 已安裝掩門
6. 櫃已安裝
7. 部分隔牆已更換為玻璃隔牆

### House 3 Second Floor (2/F)

House 3 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Cabinet has been installed
2. Part of partition wall has been changed to glass partition
3. Swing door has been installed
4. Walk-in closet with partition walls have been installed
5. Wall opening has been shifted and swing door has been installed
6. Swing door has been replaced by sliding door
7. Glass partition added

### 3號洋房2樓

3號洋房在發展項目落成後進行獲《建築物條例》豁免及小型工程。該等改動的位置於現狀樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號):

1. 櫃已安裝
2. 部分隔牆已更換為玻璃隔牆
3. 已安裝掩門
4. 安裝衣帽間連隔牆
5. 牆壁開口已移動並安裝了掩門
6. 掩門已更換為趟門
7. 加裝玻璃隔牆

#### Notes 附註:

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

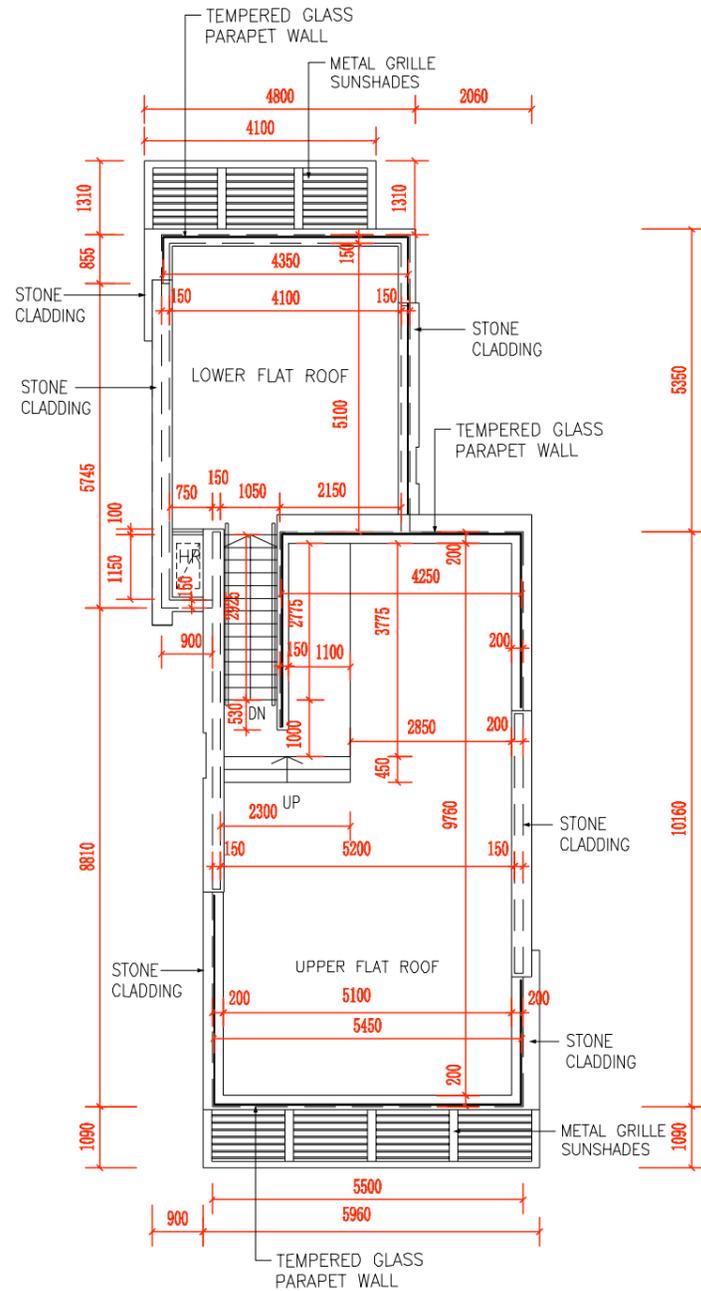
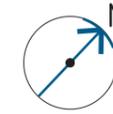
#### SCALE 比例:



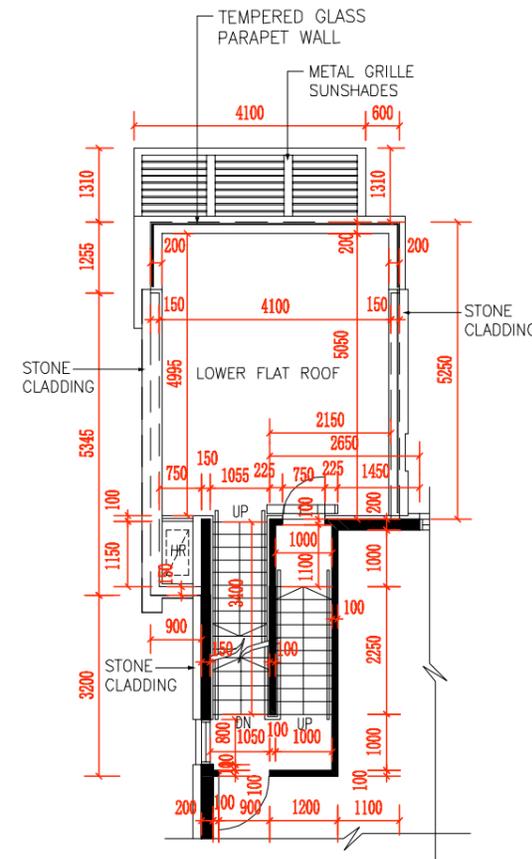
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 3 3號洋房



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

- The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
- The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.  
樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

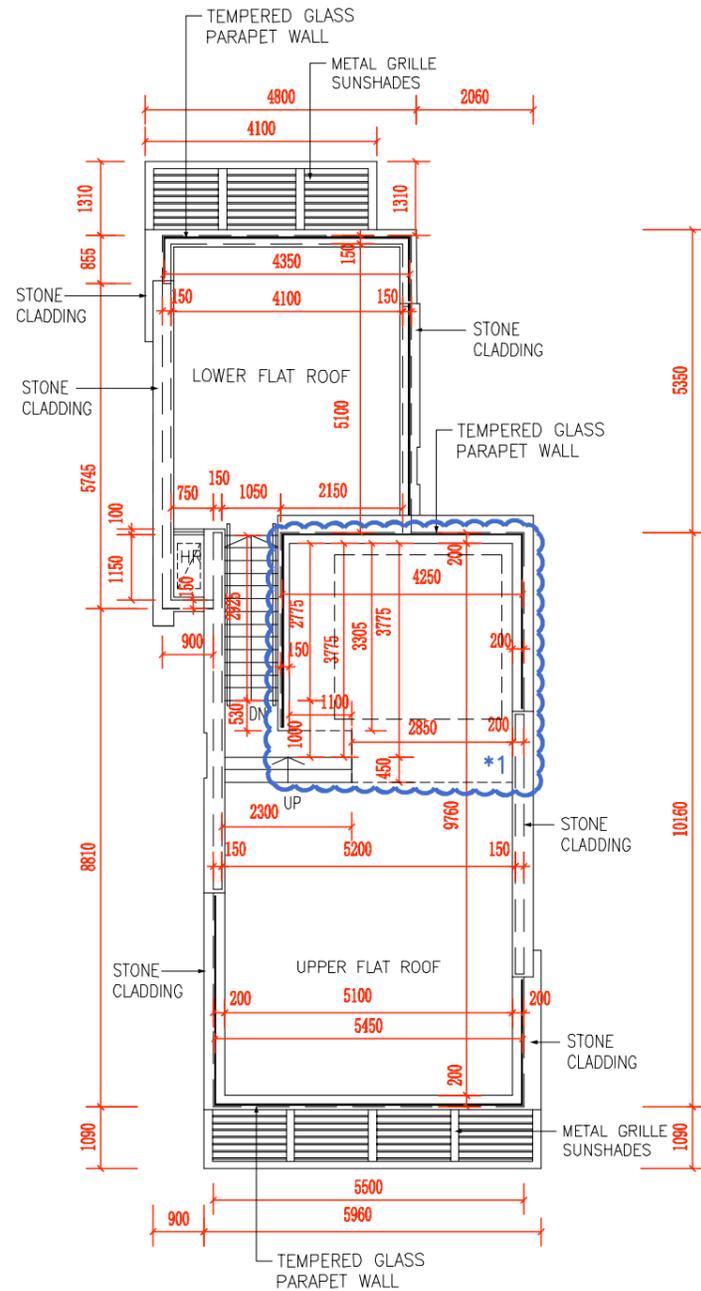
## 發展項目的住宅物業的樓面平面圖

### LATEST LAYOUT FLOOR PLAN

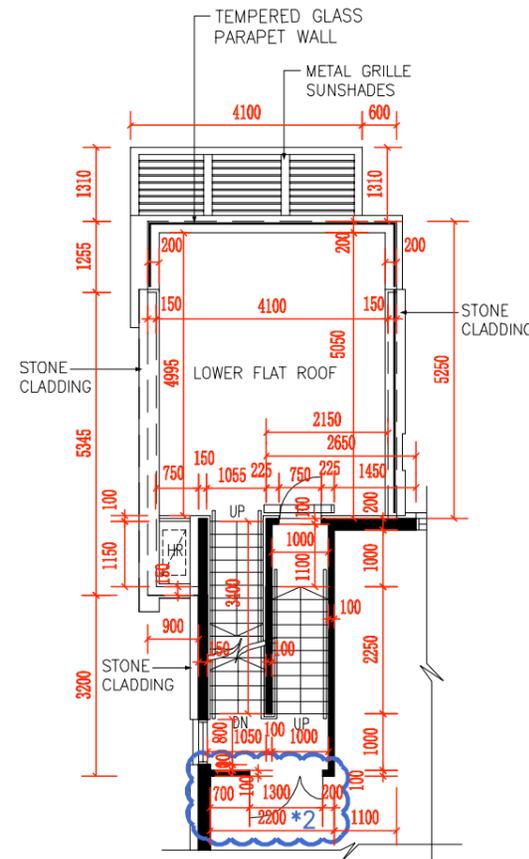
#### 現狀間隔樓面平面圖

### HOUSE 3

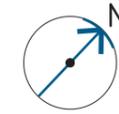
#### 3號洋房



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖



### House 3 Roof (R/F)

House 3 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Timber deck has been installed
2. Wall opening has been shifted and swing door has been replaced by double leaf door

#### 3號洋房天台

3號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 木地台已安裝
2. 牆壁開口已移動，掩門已更換為雙扇門

#### Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
3. The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最新建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：

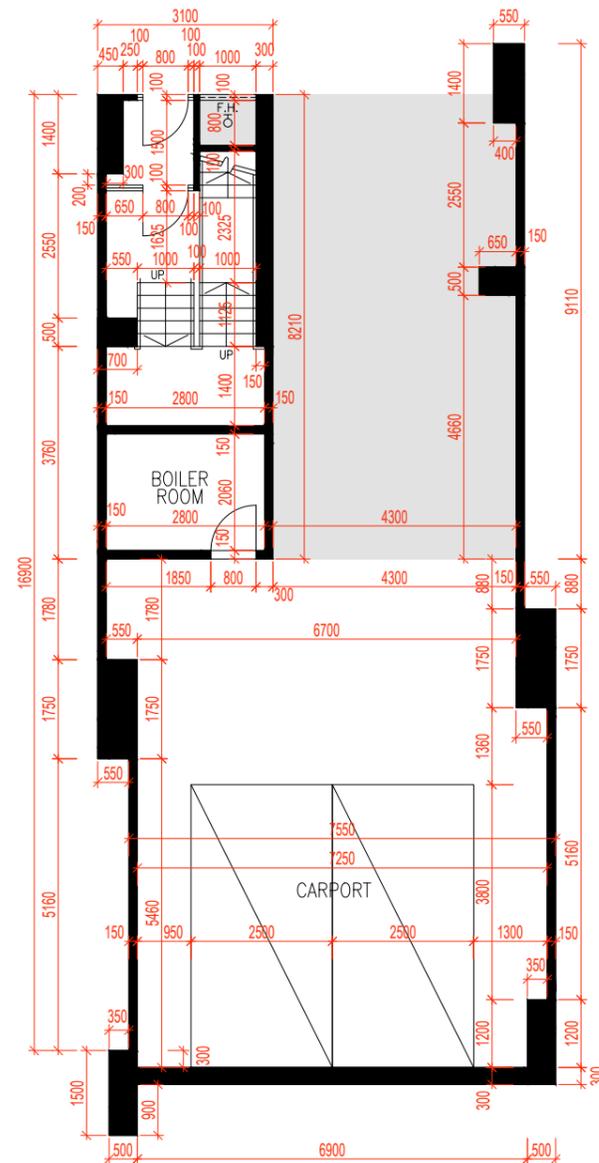


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 5 5號洋房

Remark: House 5 is no longer owned by the Vendor or the holding companies of Vendor  
備註：5號洋房已非由賣方或賣方的控權公司所擁有



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖



Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4500
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：



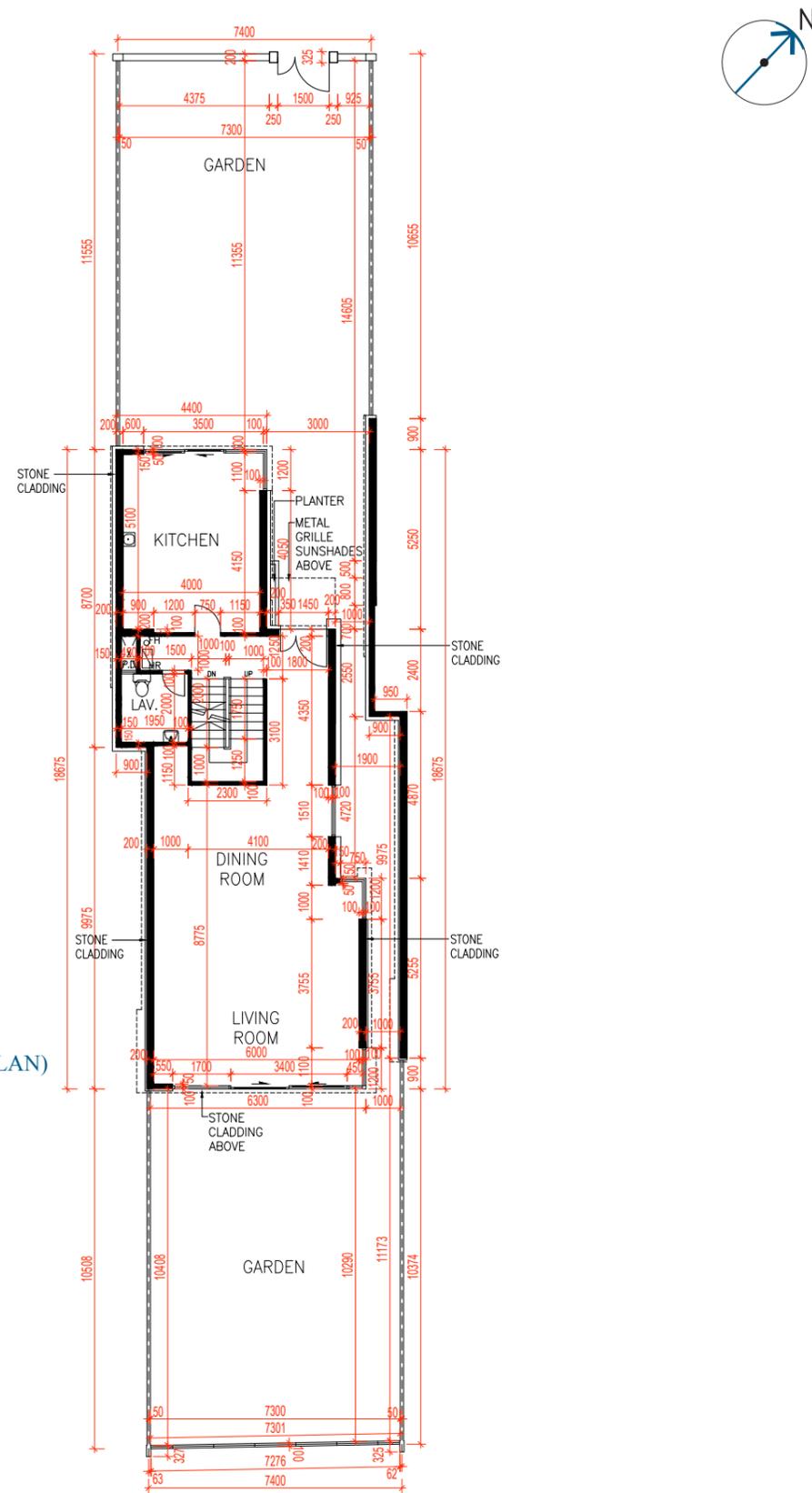
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 5 5號洋房

Remark: House 5 is no longer owned by the Vendor or the holding companies of Vendor  
備註：5號洋房已非由賣方或賣方的控權公司所擁有

GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

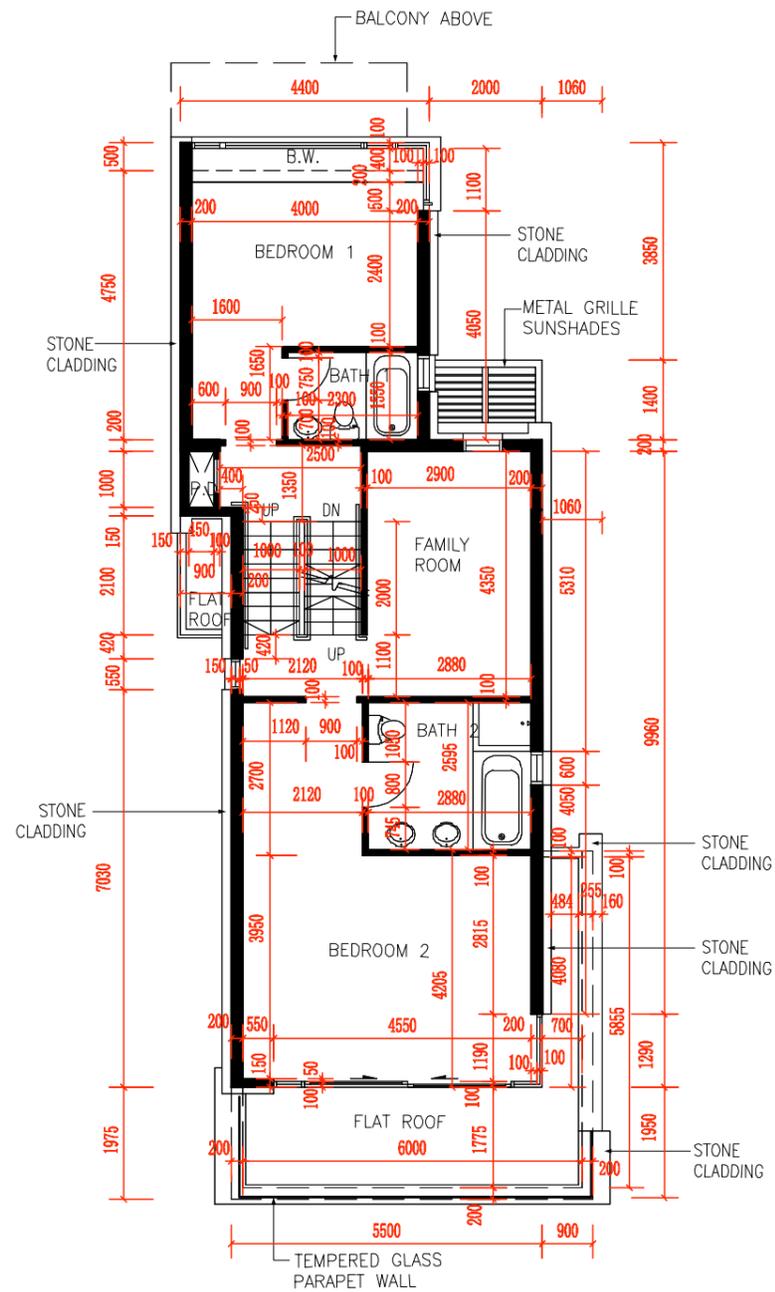


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

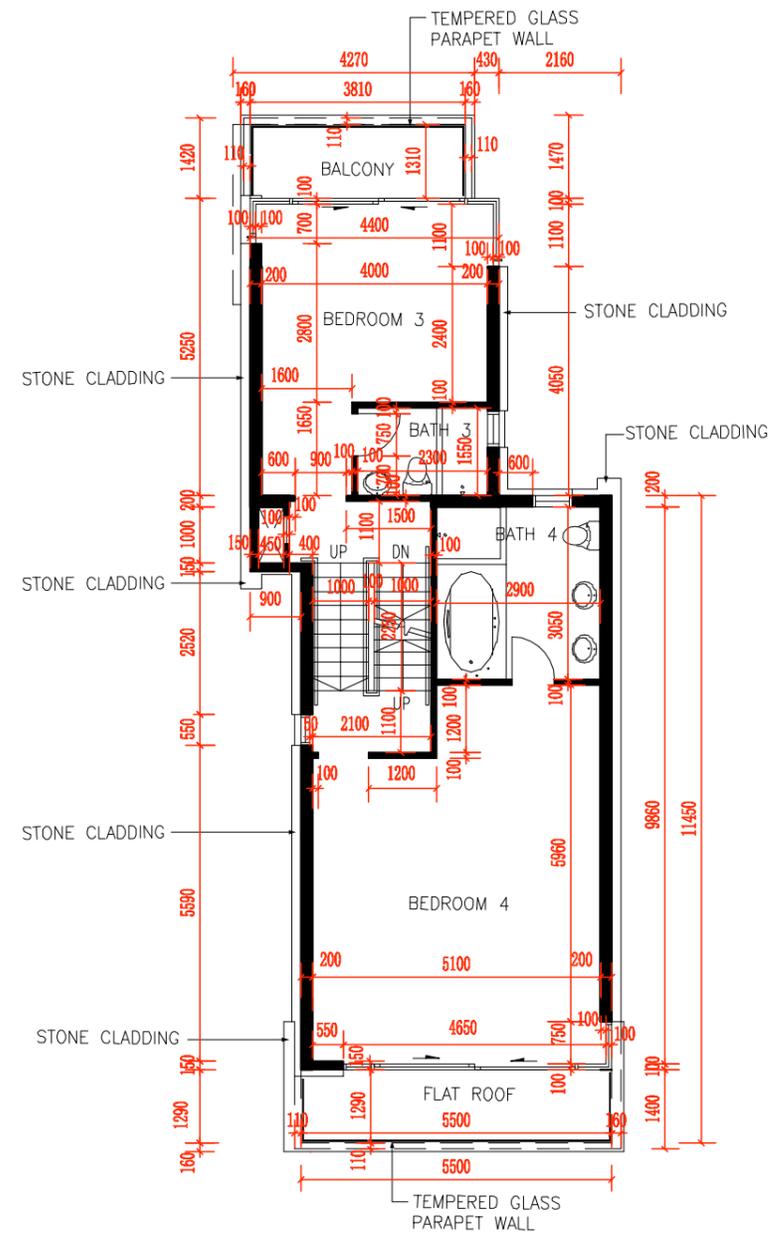
## 發展項目的住宅物業的樓面平面圖

### HOUSE 5 5號洋房

Remark: House 5 is no longer owned by the Vendor or the holding companies of Vendor  
備註：5號洋房已非由賣方或賣方的控股公司所擁有



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
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樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

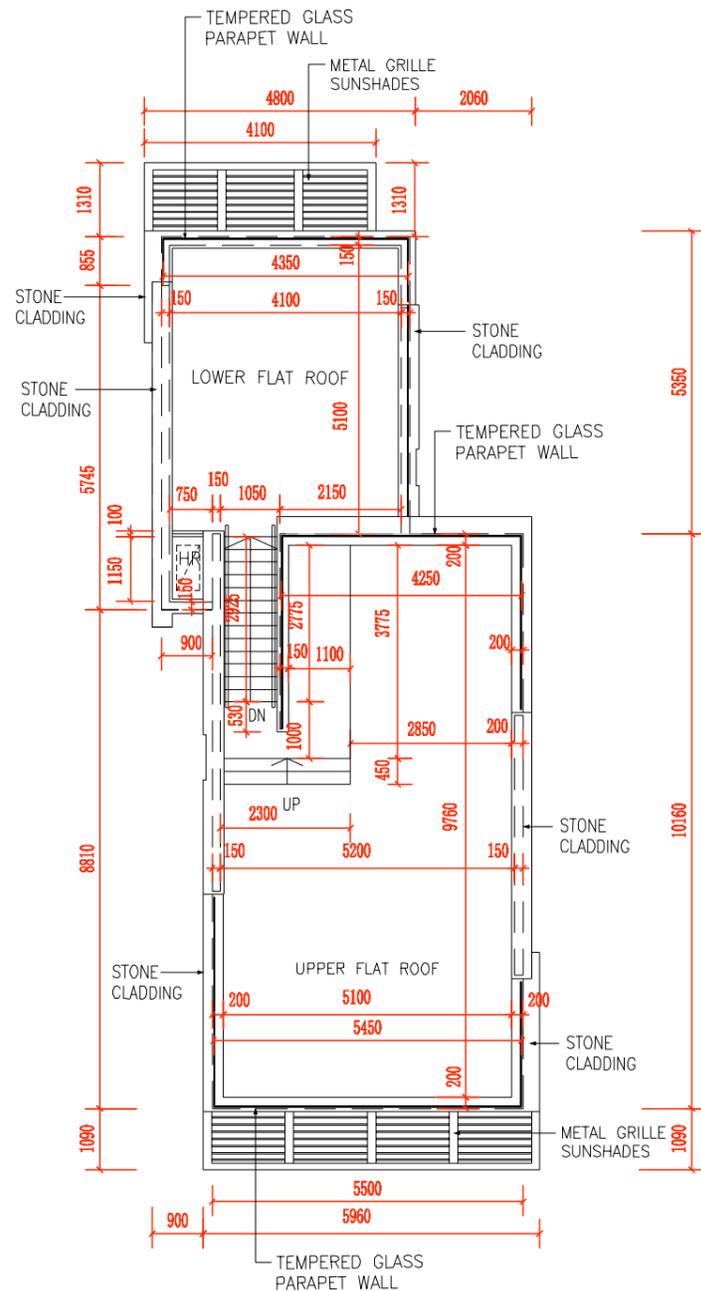
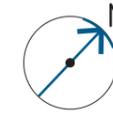


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

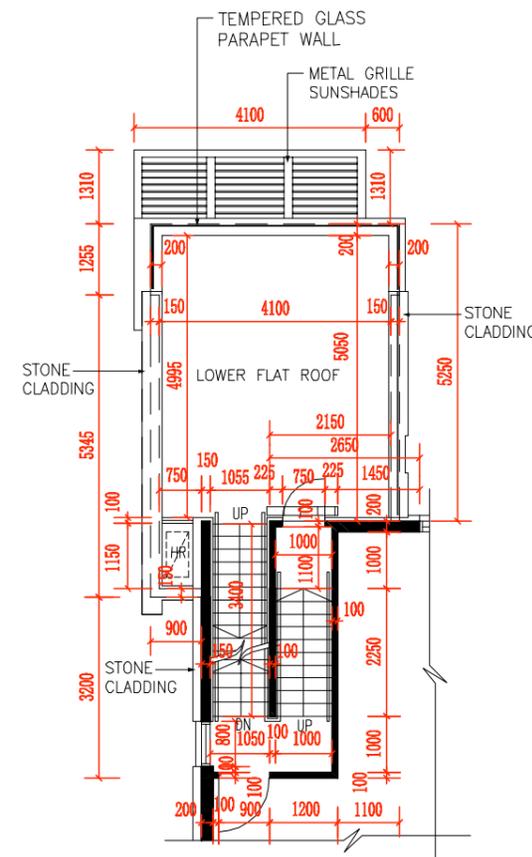
## 發展項目的住宅物業的樓面平面圖

### HOUSE 5 5號洋房

Remark: House 5 is no longer owned by the Vendor or the holding companies of Vendor  
備註：5號洋房已非由賣方或賣方的控股公司所擁有



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

- The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
- The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：

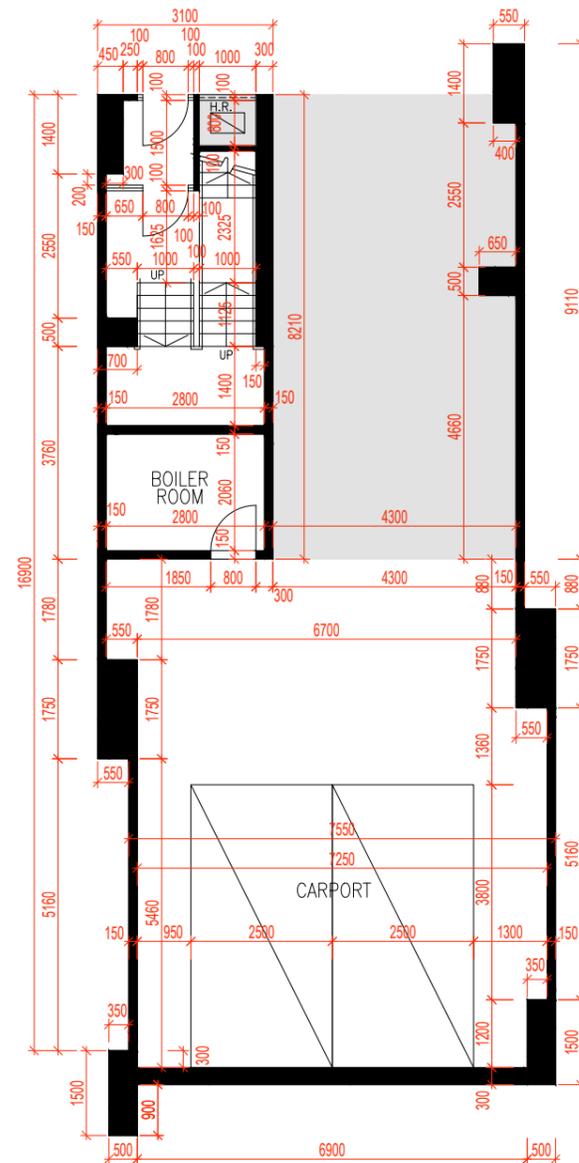


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

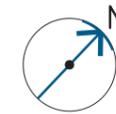
## 發展項目的住宅物業的樓面平面圖

### HOUSE 6 6號洋房

Remark: House 6 is no longer owned by the Vendor or the holding companies of Vendor  
備註：6號洋房已非由賣方或賣方的控股公司所擁有



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖



Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4500
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
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SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

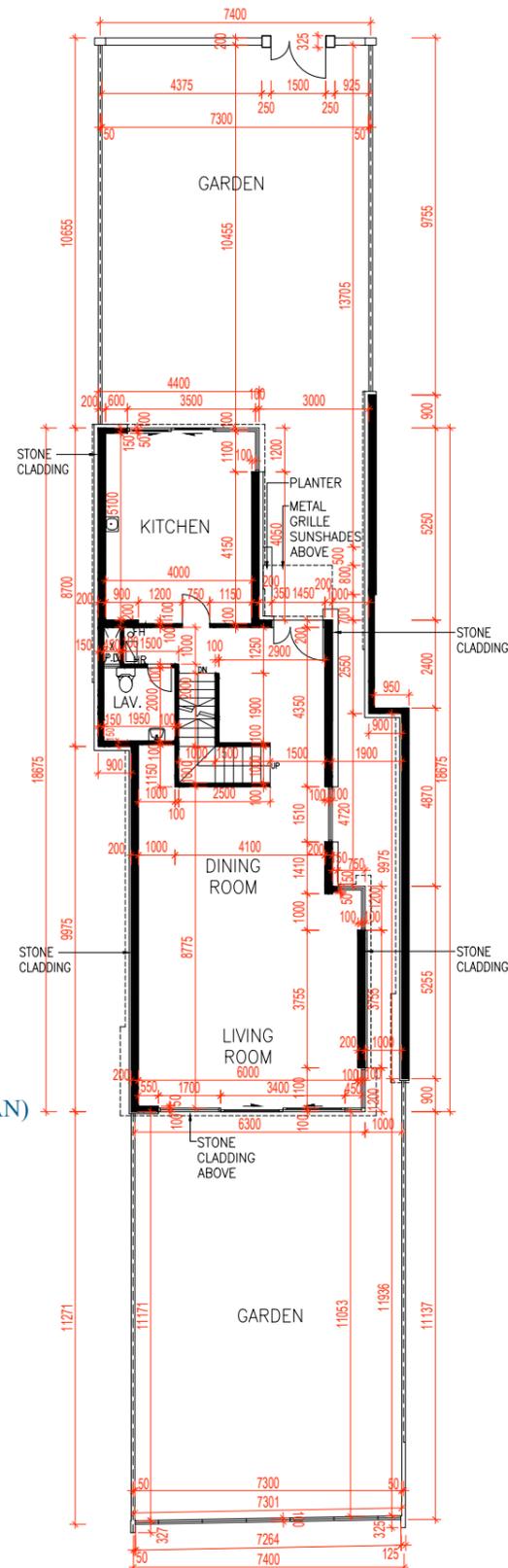
## 發展項目的住宅物業的樓面平面圖

### HOUSE 6 6號洋房

Remark: House 6 is no longer owned by the Vendor or the holding companies of Vendor  
備註：6號洋房已非由賣方或賣方的控權公司所擁有



GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

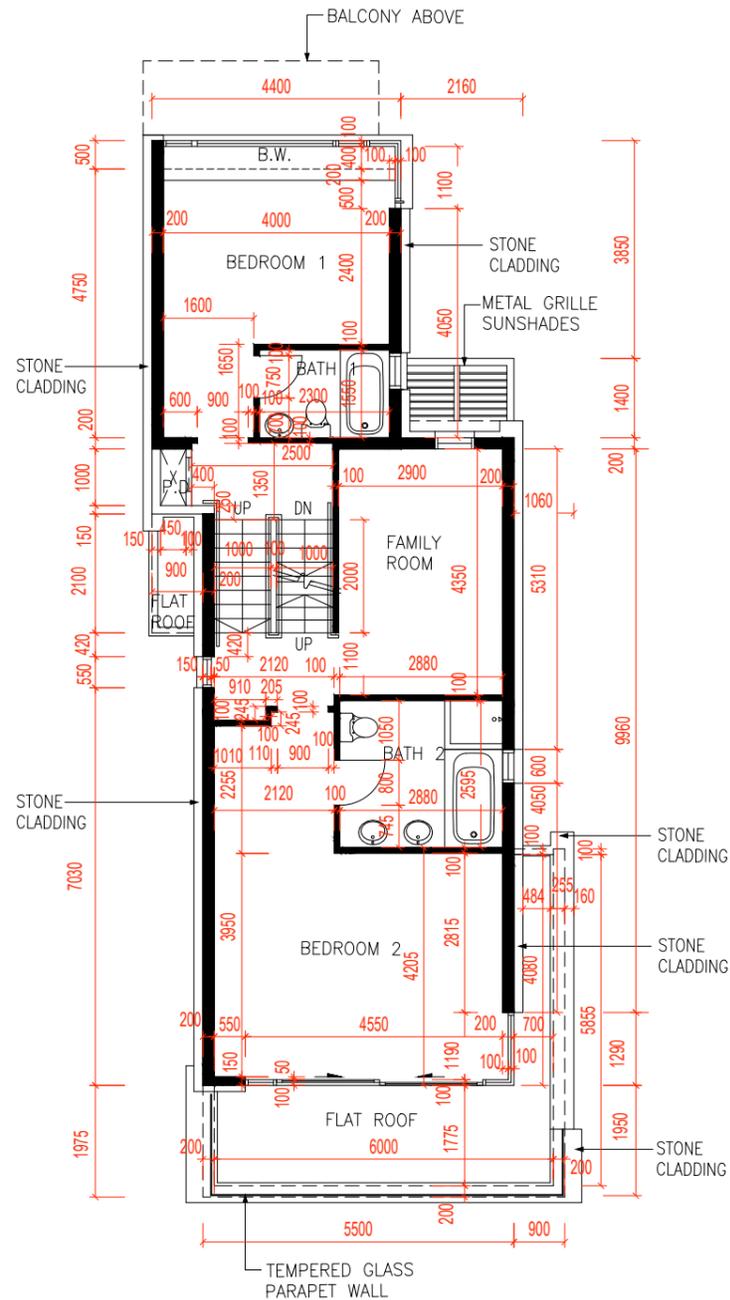
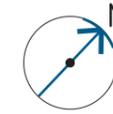


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

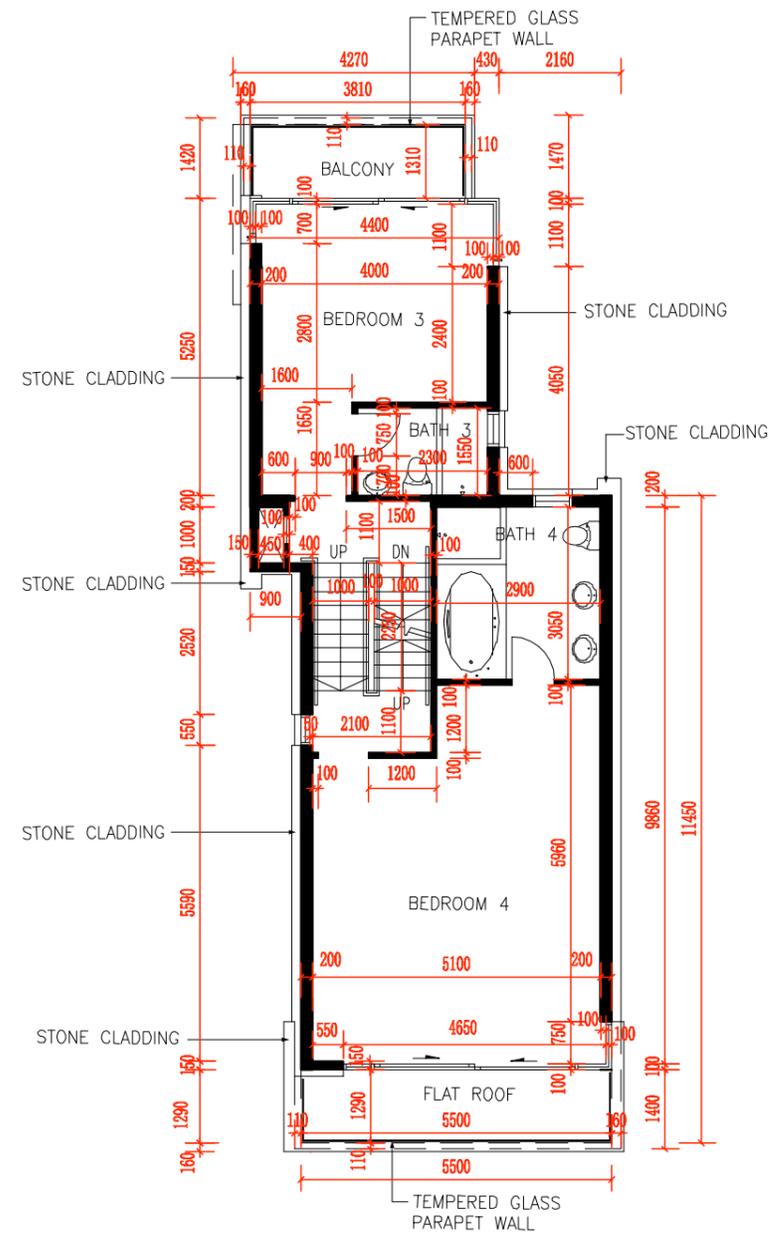
## 發展項目的住宅物業的樓面平面圖

### HOUSE 6 6號洋房

Remark: House 6 is no longer owned by the Vendor or the holding companies of Vendor  
備註：6號洋房已非由賣方或賣方的控股公司所擁有



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
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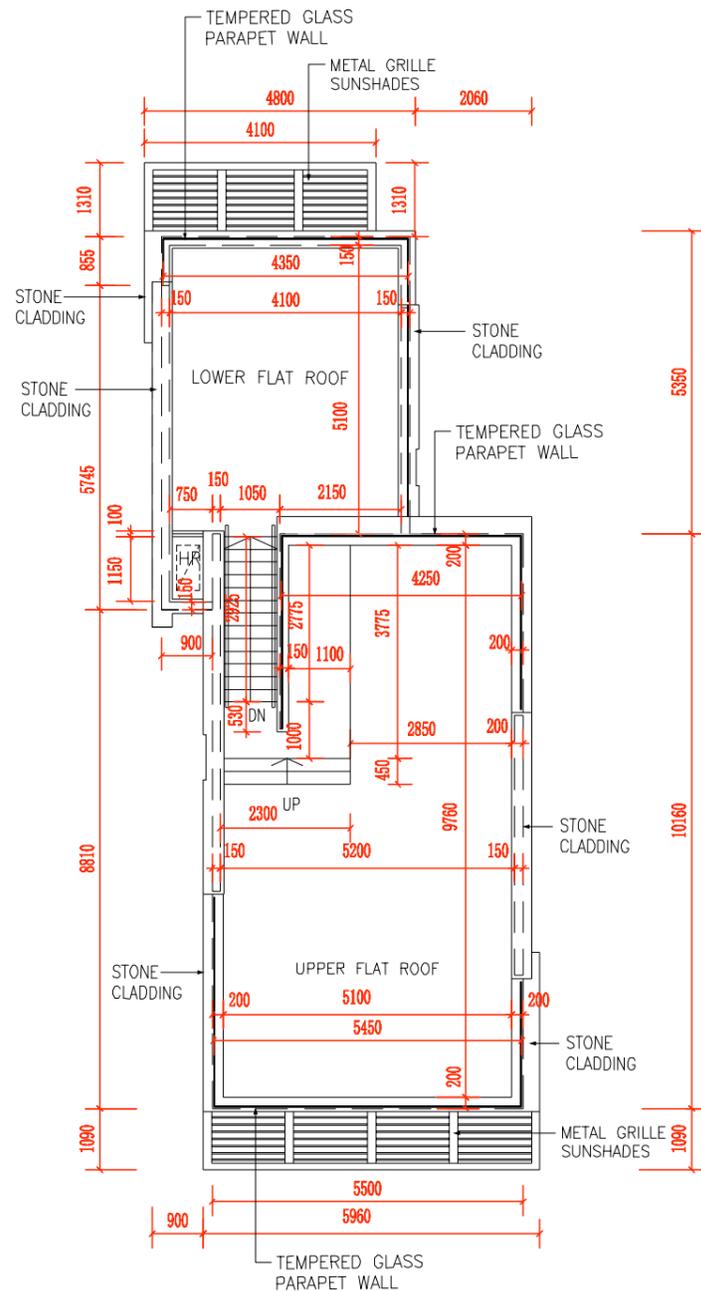


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

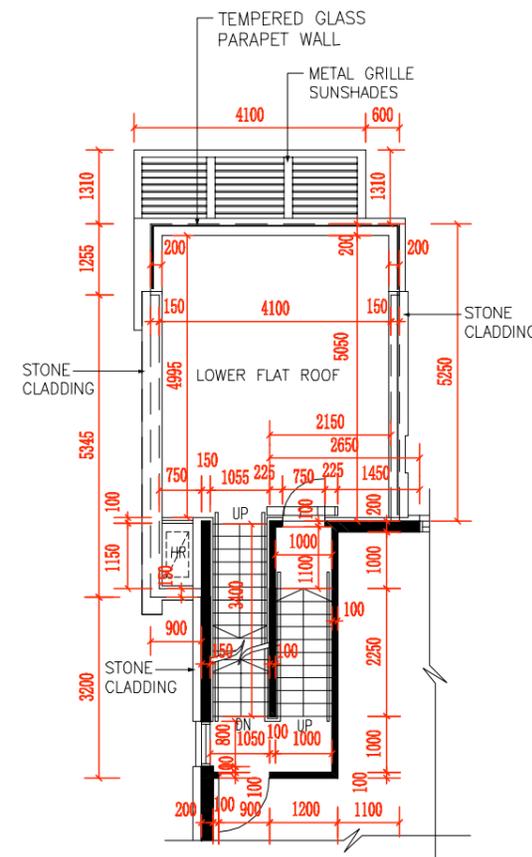
## 發展項目的住宅物業的樓面平面圖

### HOUSE 6 6號洋房

Remark: House 6 is no longer owned by the Vendor or the holding companies of Vendor  
備註：6號洋房已非由賣方或賣方的控股公司所擁有



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
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3. The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最新建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：

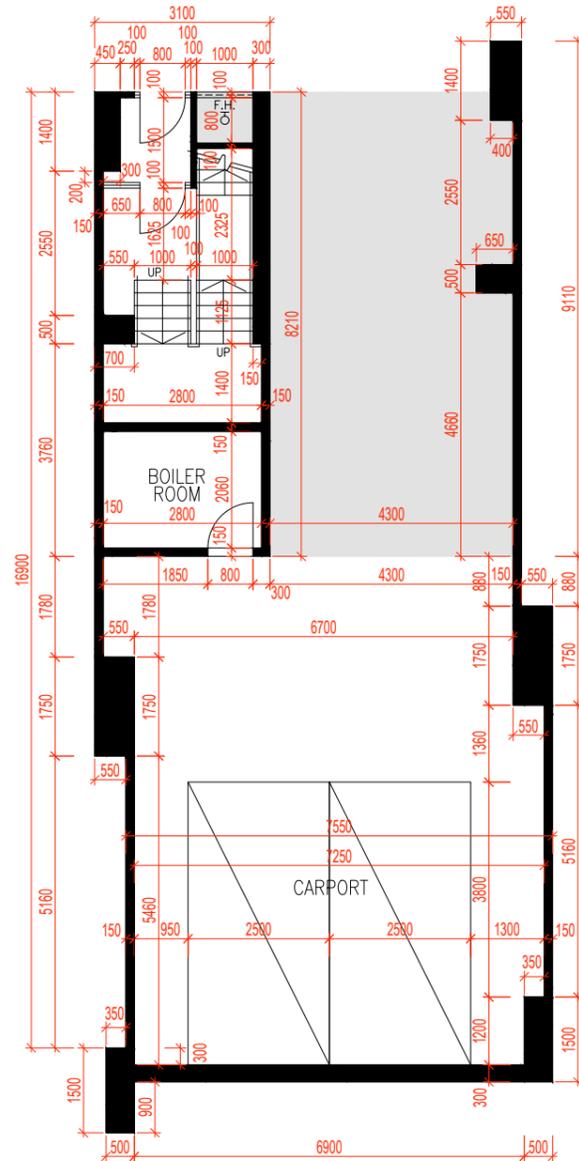


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 8 8號洋房

Remark: House 8 is no longer owned by the Vendor or the holding companies of Vendor  
備註：8號洋房已非由賣方或賣方的控權公司所擁有



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖



Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4500
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

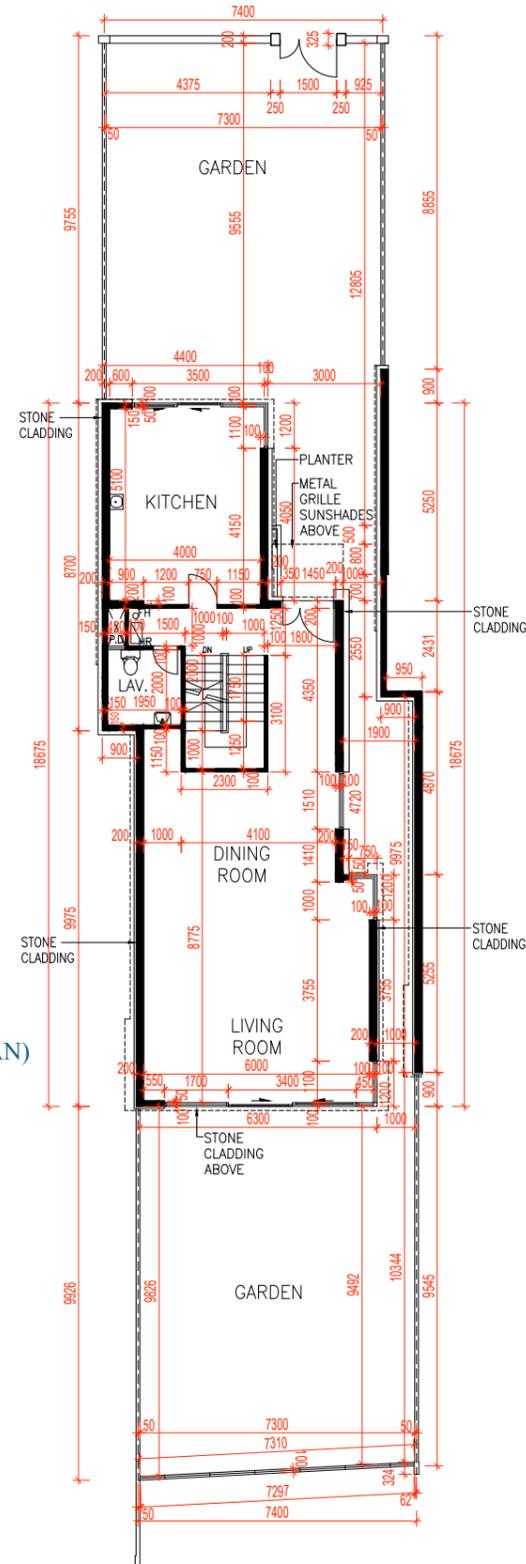
## 發展項目的住宅物業的樓面平面圖

### HOUSE 8 8號洋房

Remark: House 8 is no longer owned by the Vendor or the holding companies of Vendor  
備註：8號洋房已非由賣方或賣方的控權公司所擁有



GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
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SCALE 比例：

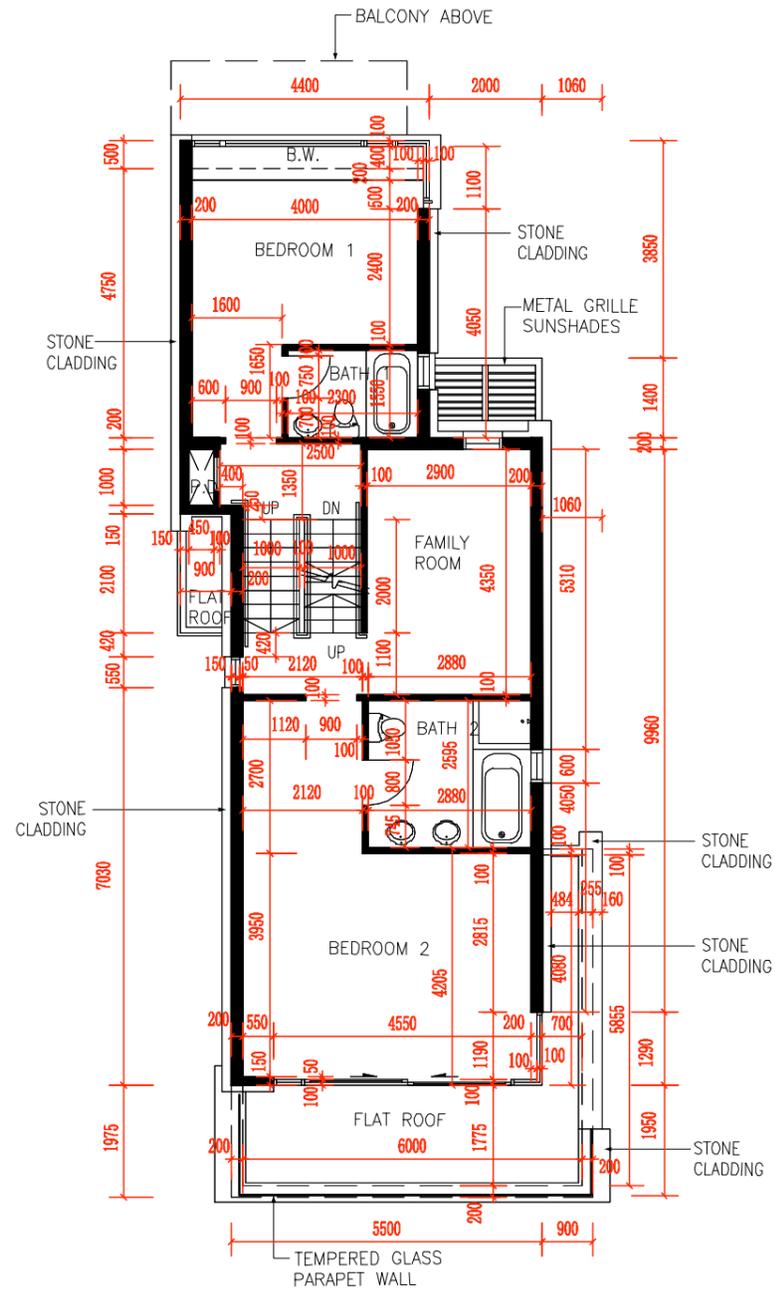


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

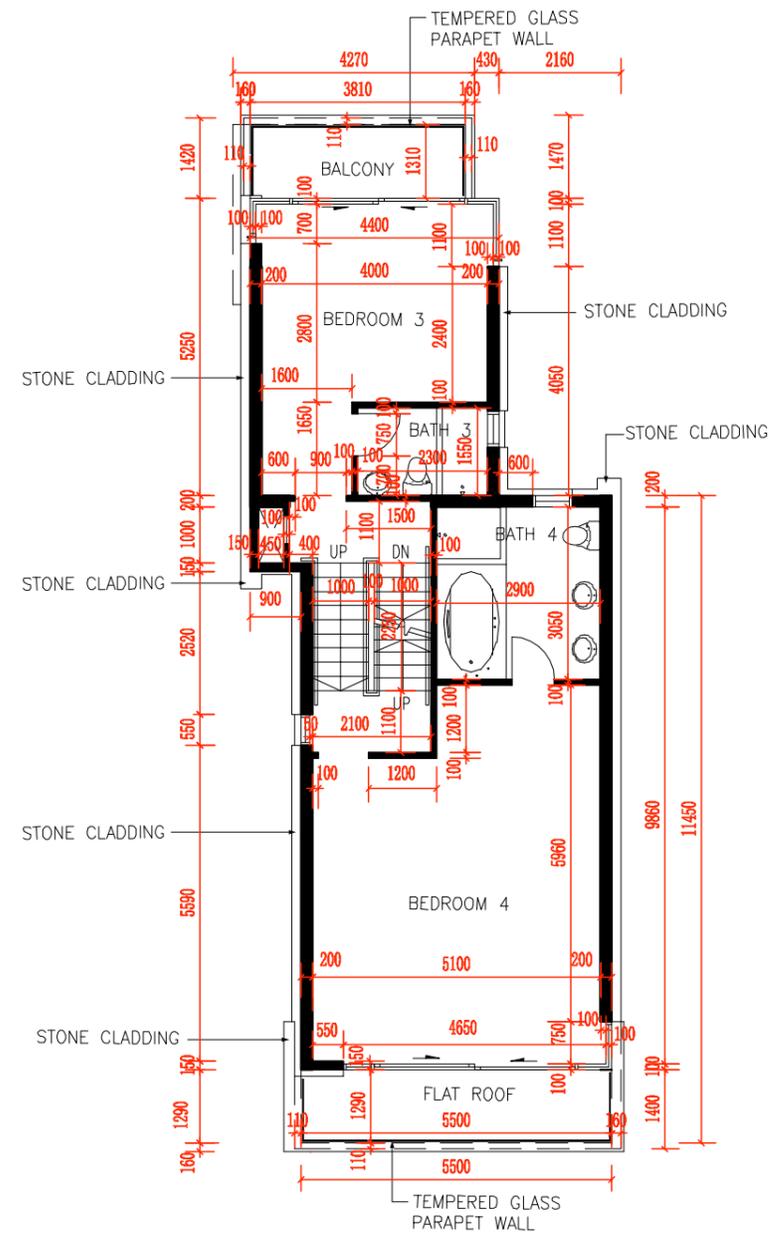
## 發展項目的住宅物業的樓面平面圖

### HOUSE 8 8號洋房

Remark: House 8 is no longer owned by the Vendor or the holding companies of Vendor  
備註：8號洋房已非由賣方或賣方的控股公司所擁有



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

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SCALE 比例：

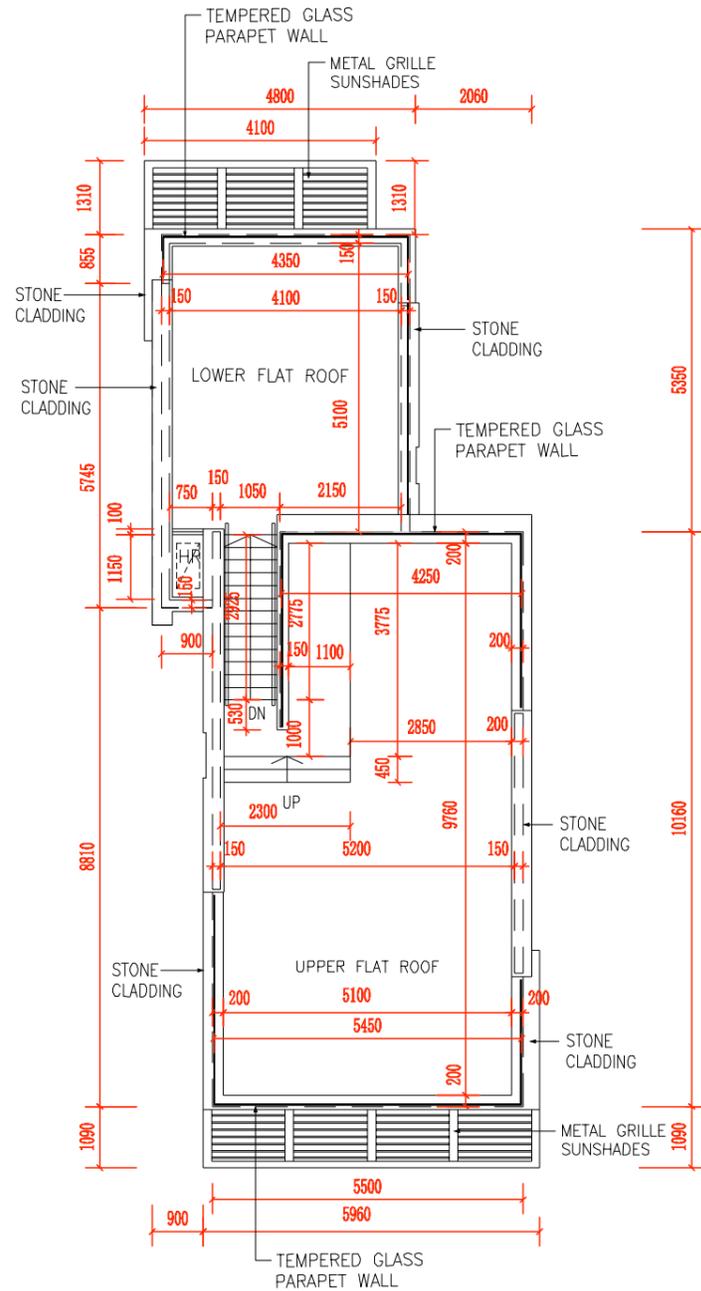
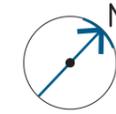


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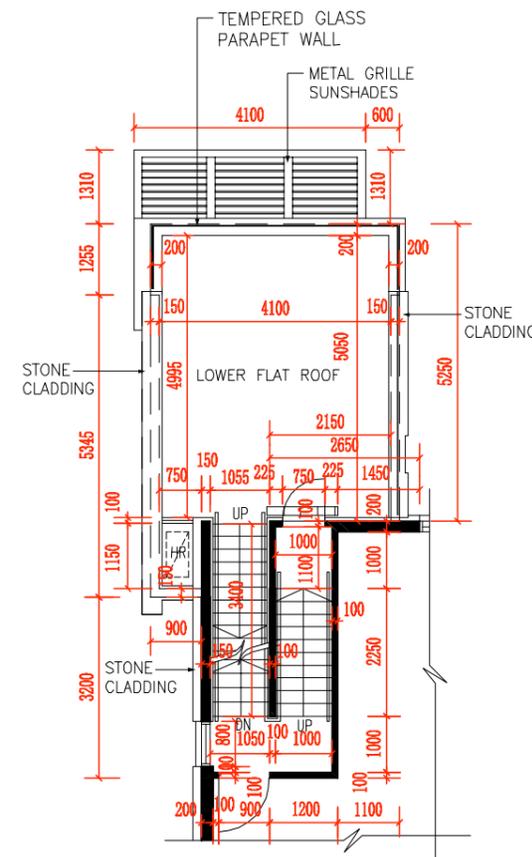
## 發展項目的住宅物業的樓面平面圖

### HOUSE 8 8號洋房

Remark: House 8 is no longer owned by the Vendor or the holding companies of Vendor  
備註：8號洋房已非由賣方或賣方的控股公司所擁有



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
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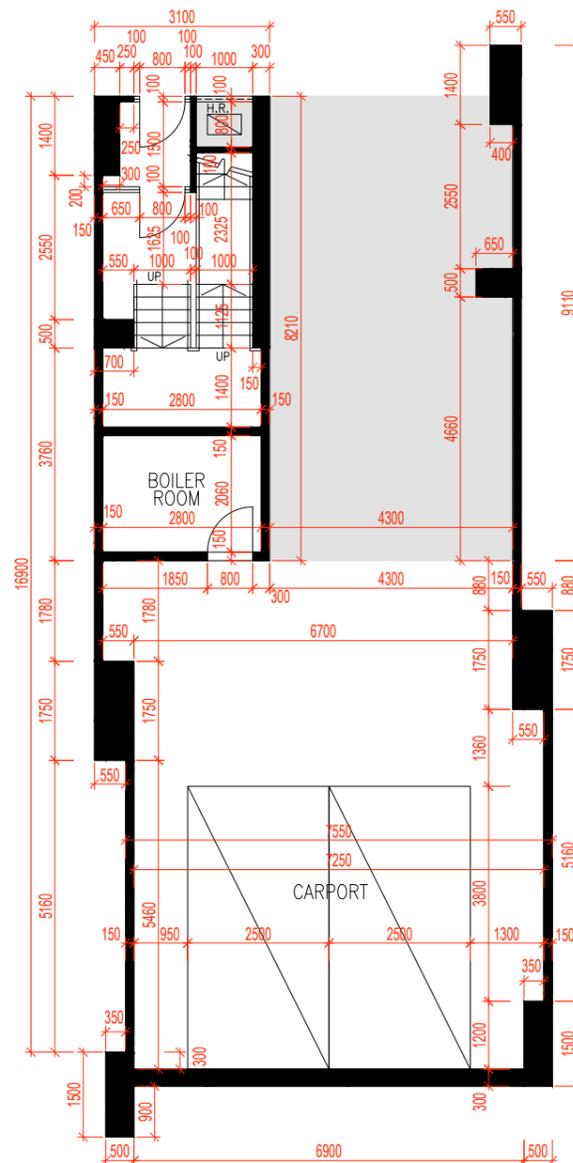
SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 9 9號洋房



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4500
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

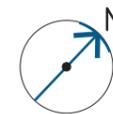
SCALE 比例：



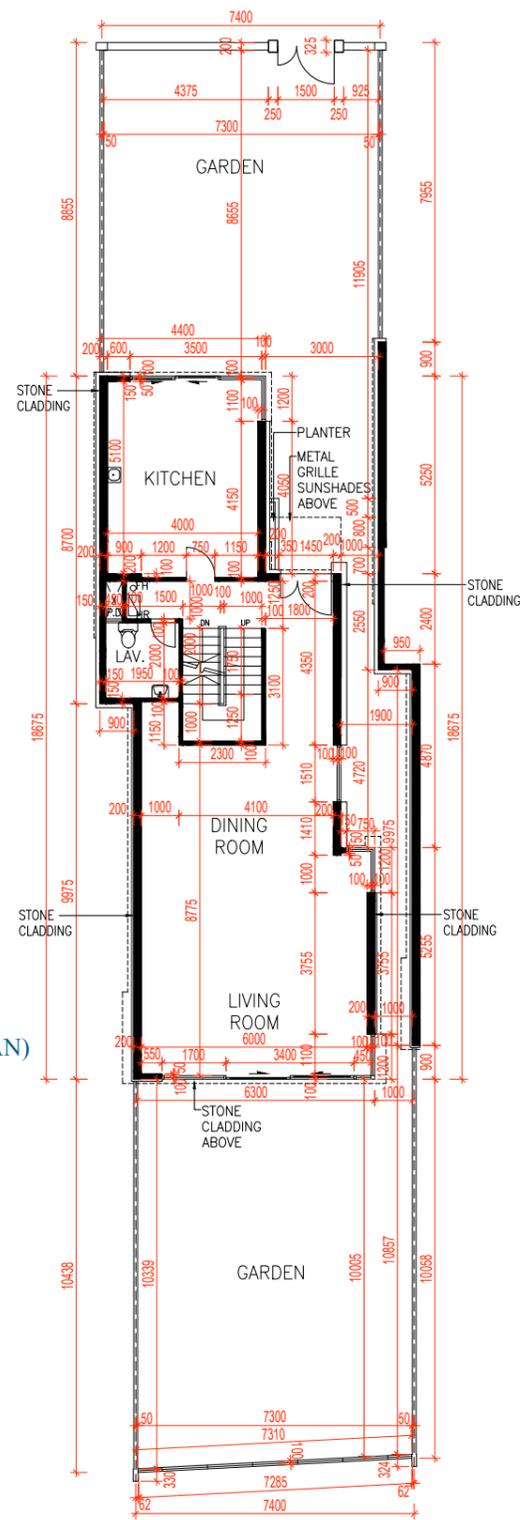
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 9 9號洋房



GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

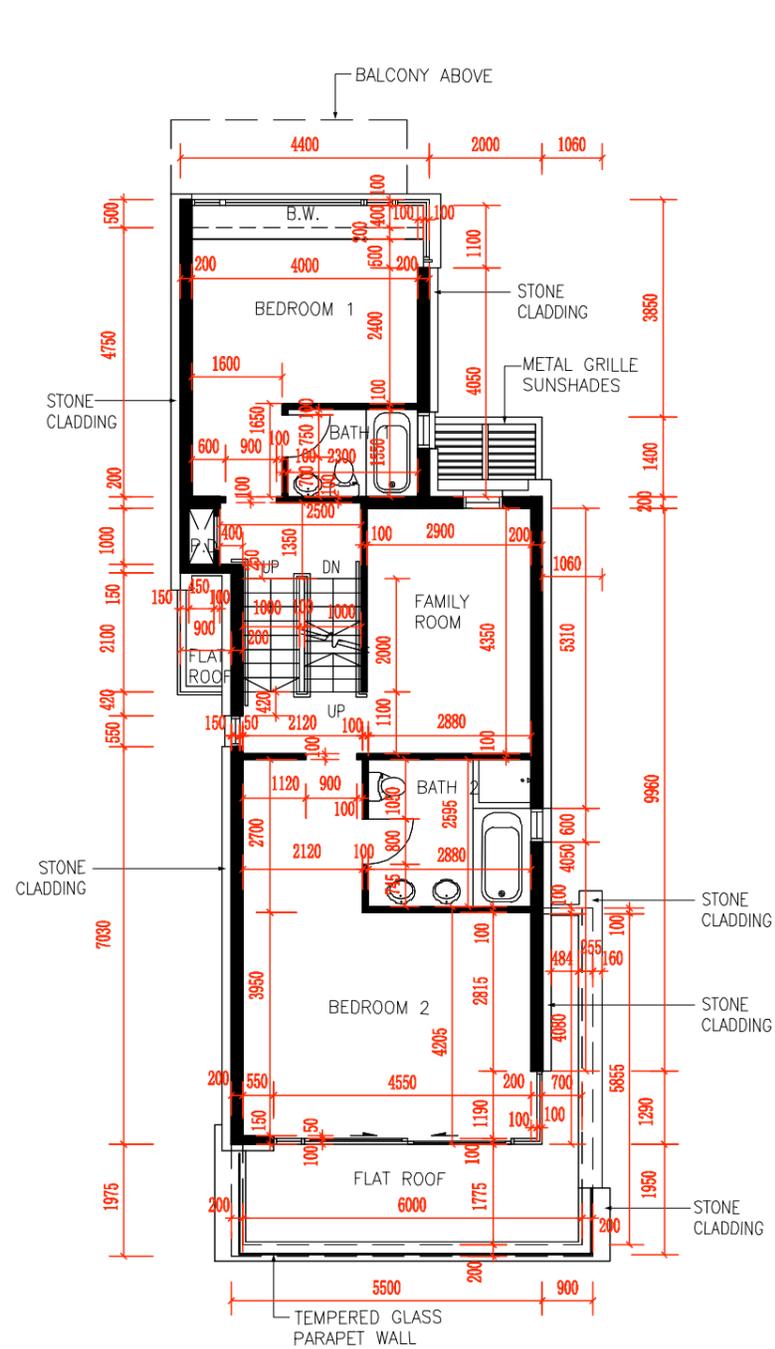
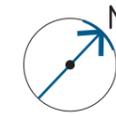
SCALE 比例：



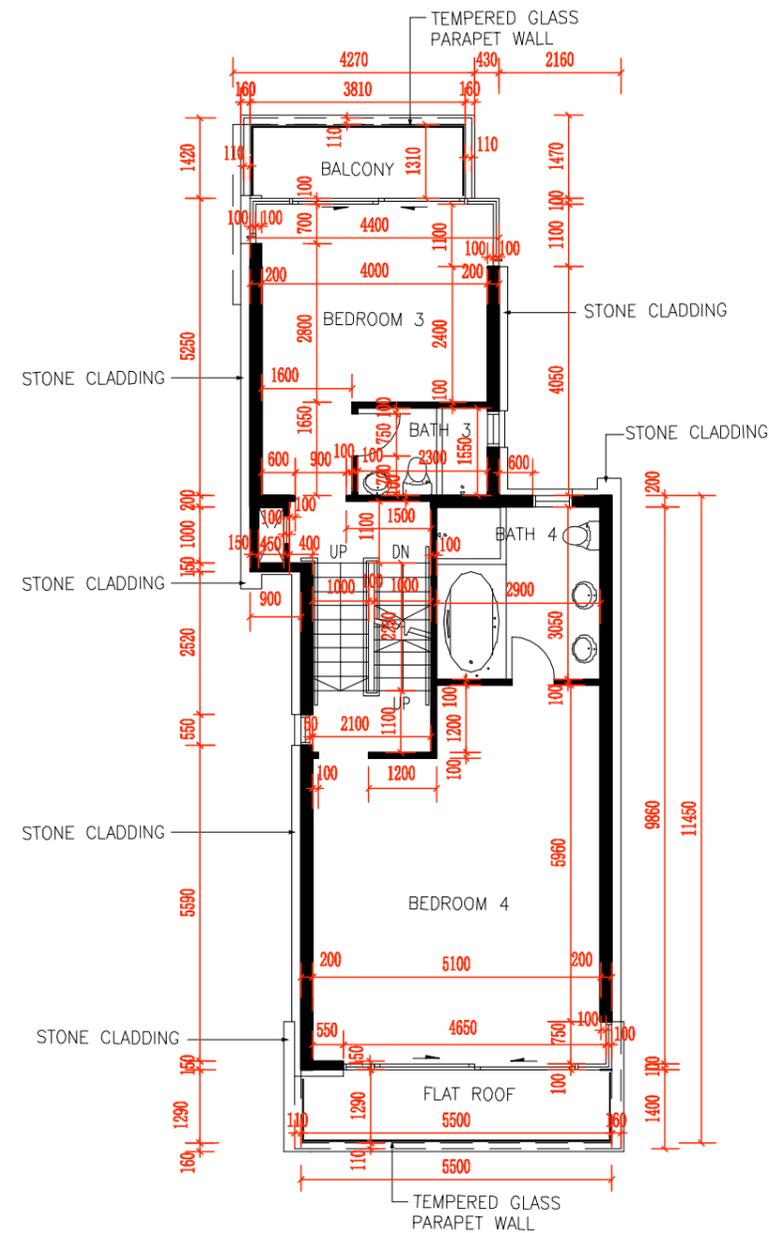
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 9 9號洋房



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

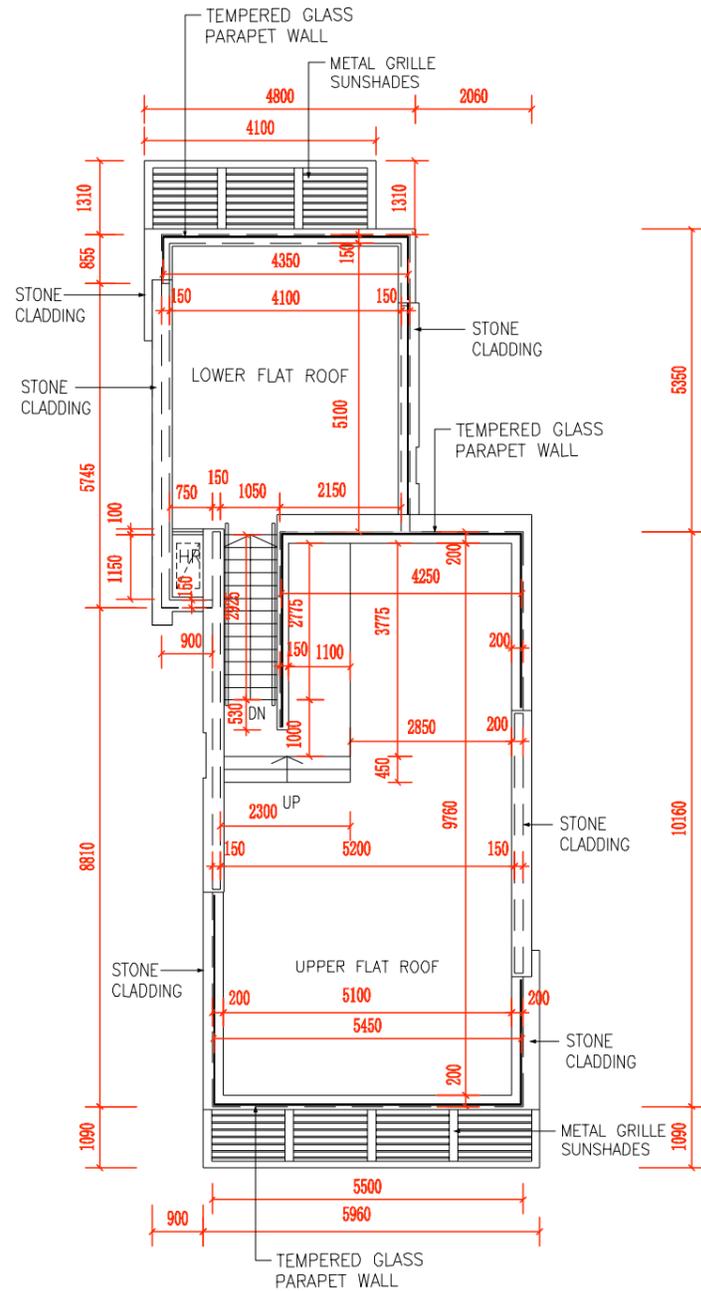
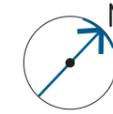
SCALE 比例：



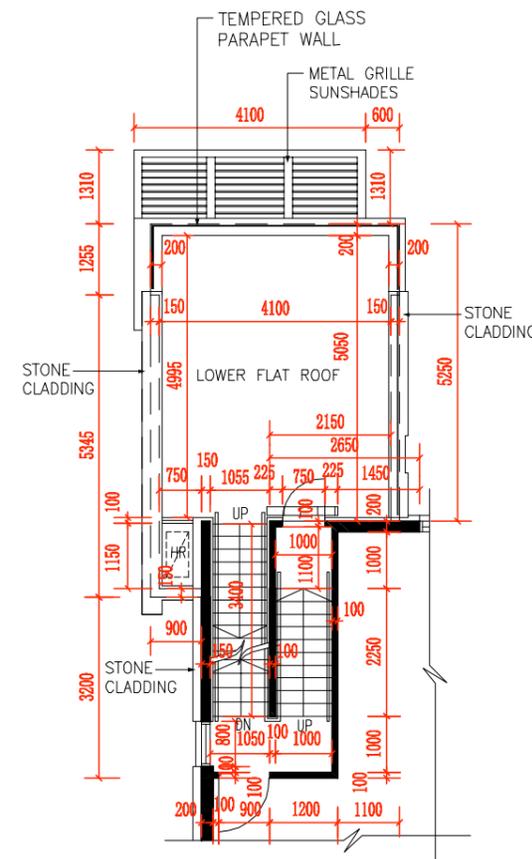
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 9 9號洋房



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
3. The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：

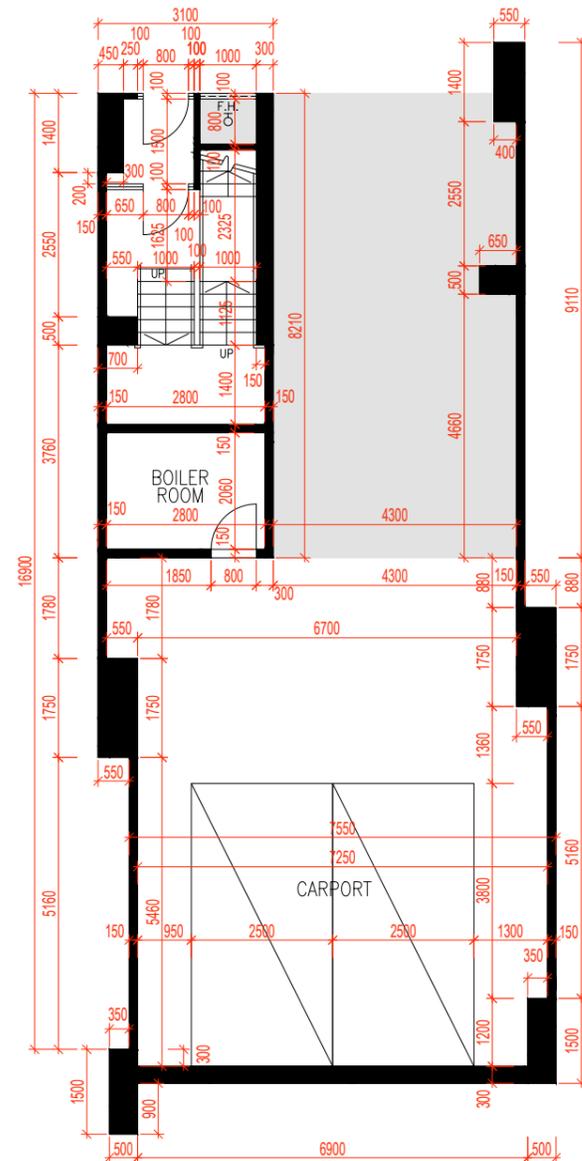


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

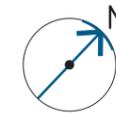
## 發展項目的住宅物業的樓面平面圖

### HOUSE 10 10 號洋房

Remark: House 10 is no longer owned by the Vendor or the holding companies of Vendor  
備註：10號洋房已非由賣方或賣方的控權公司所擁有



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖



Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4650
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

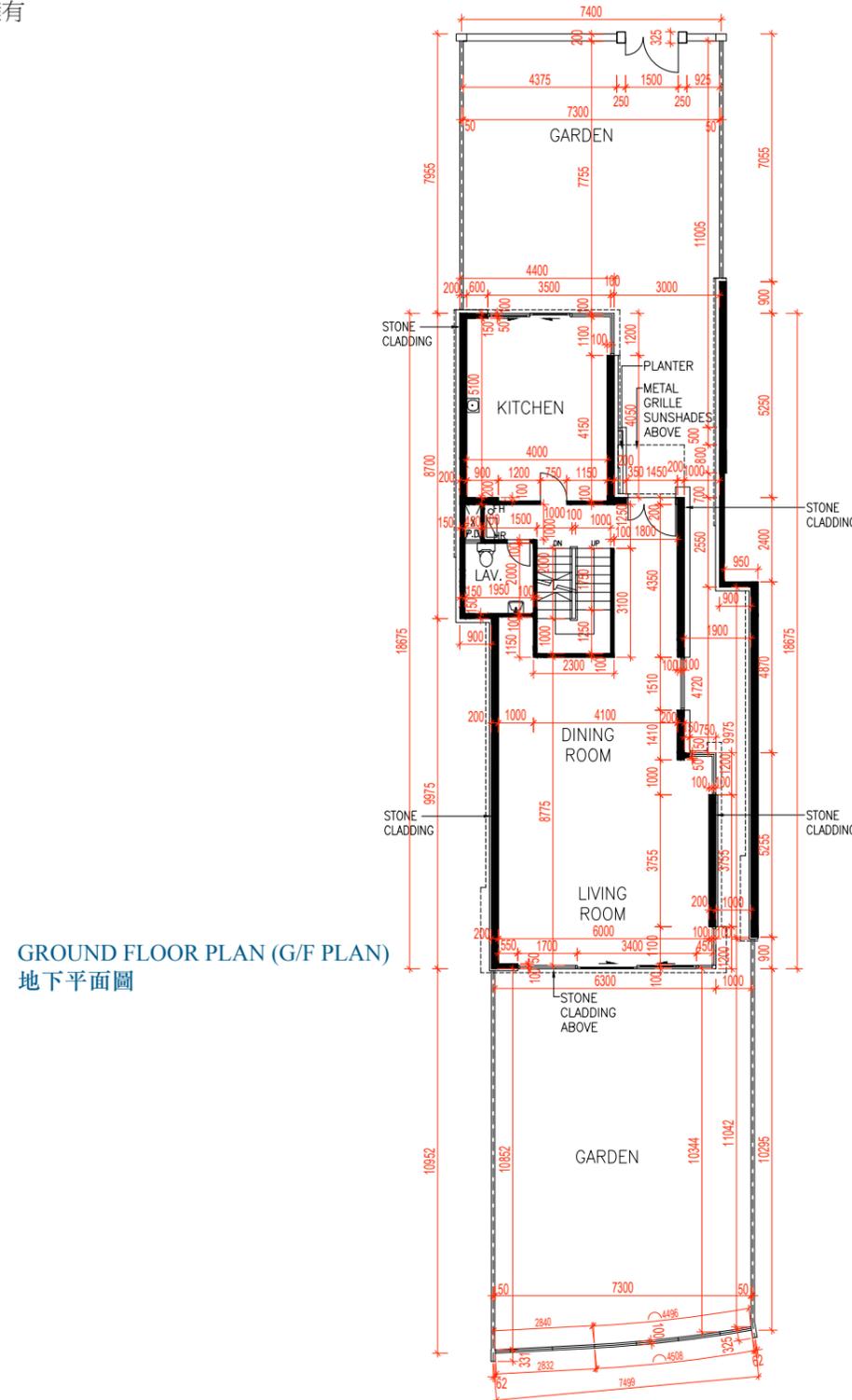


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 10 10 號洋房

Remark: House 10 is no longer owned by the Vendor or the holding companies of Vendor  
備註：10號洋房已非由賣方或賣方的控權公司所擁有



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

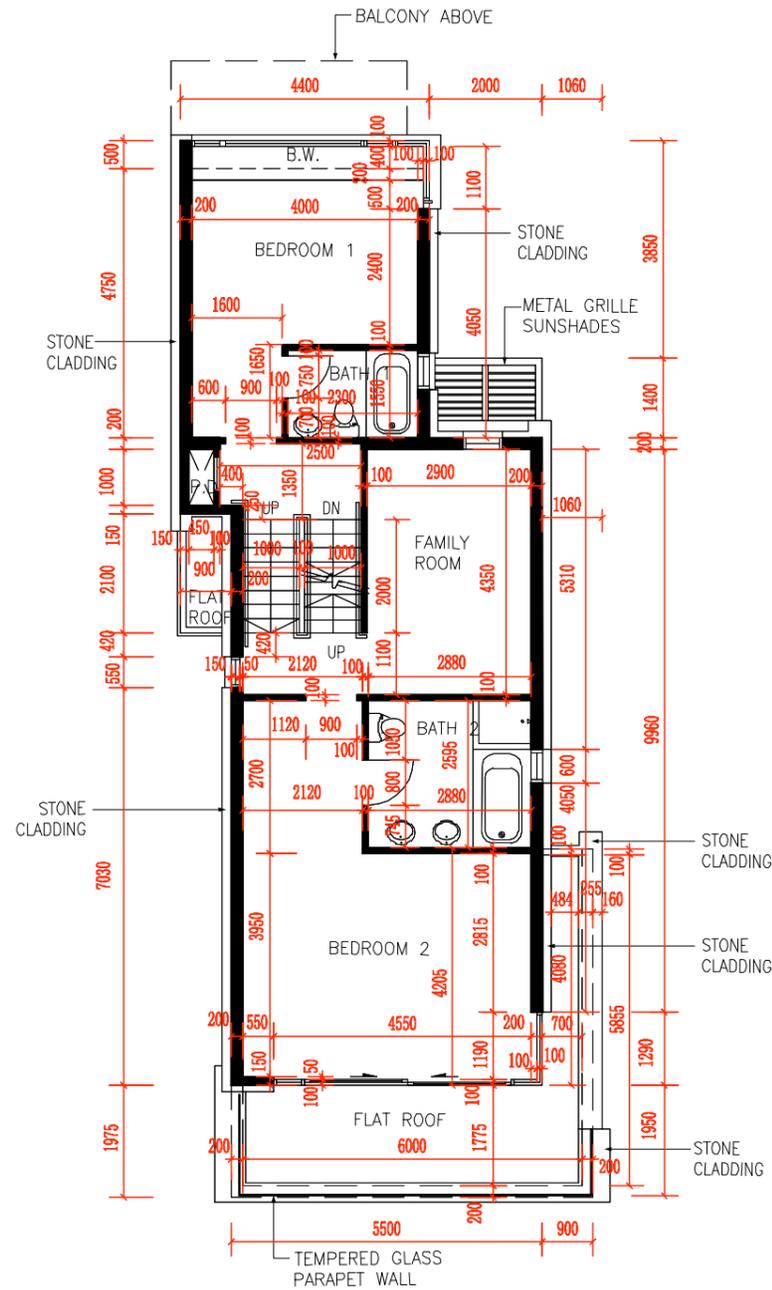


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

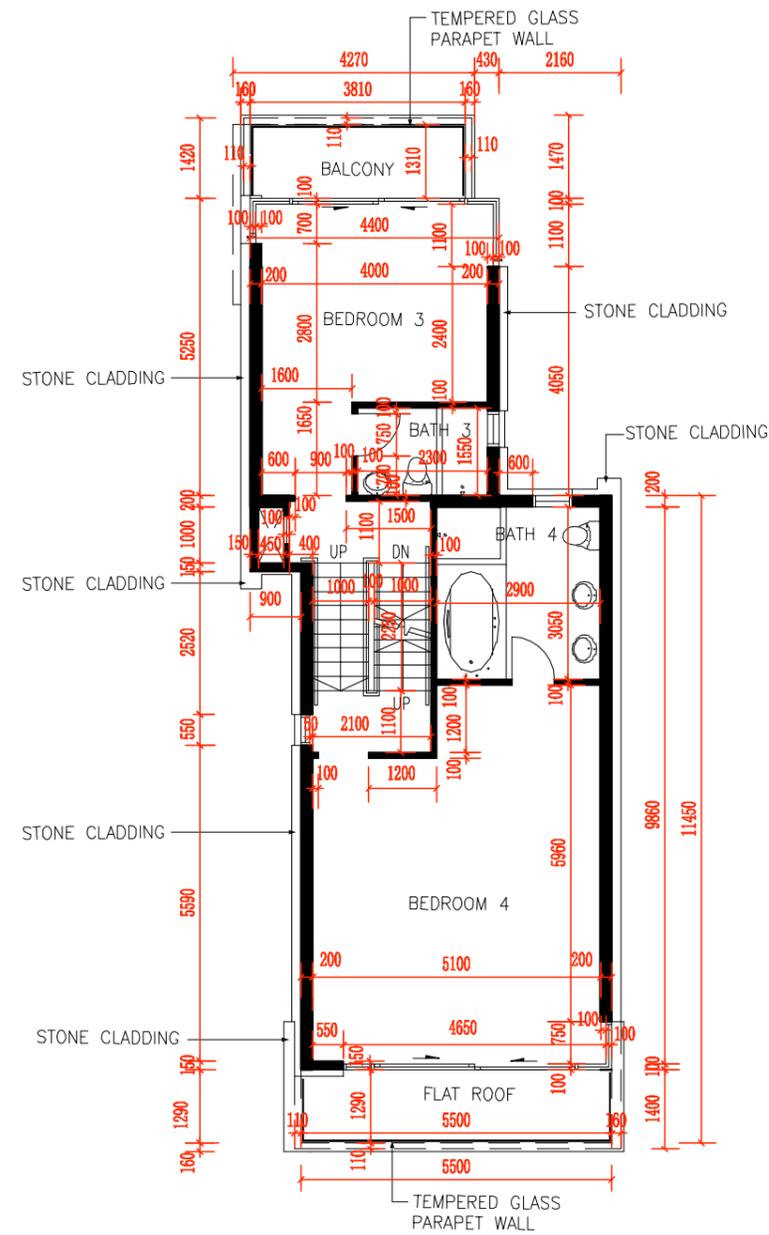
## 發展項目的住宅物業的樓面平面圖

### HOUSE 10 10 號洋房

Remark: House 10 is no longer owned by the Vendor or the holding companies of Vendor  
備註：10號洋房已非由賣方或賣方的控權公司所擁有



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

- The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：

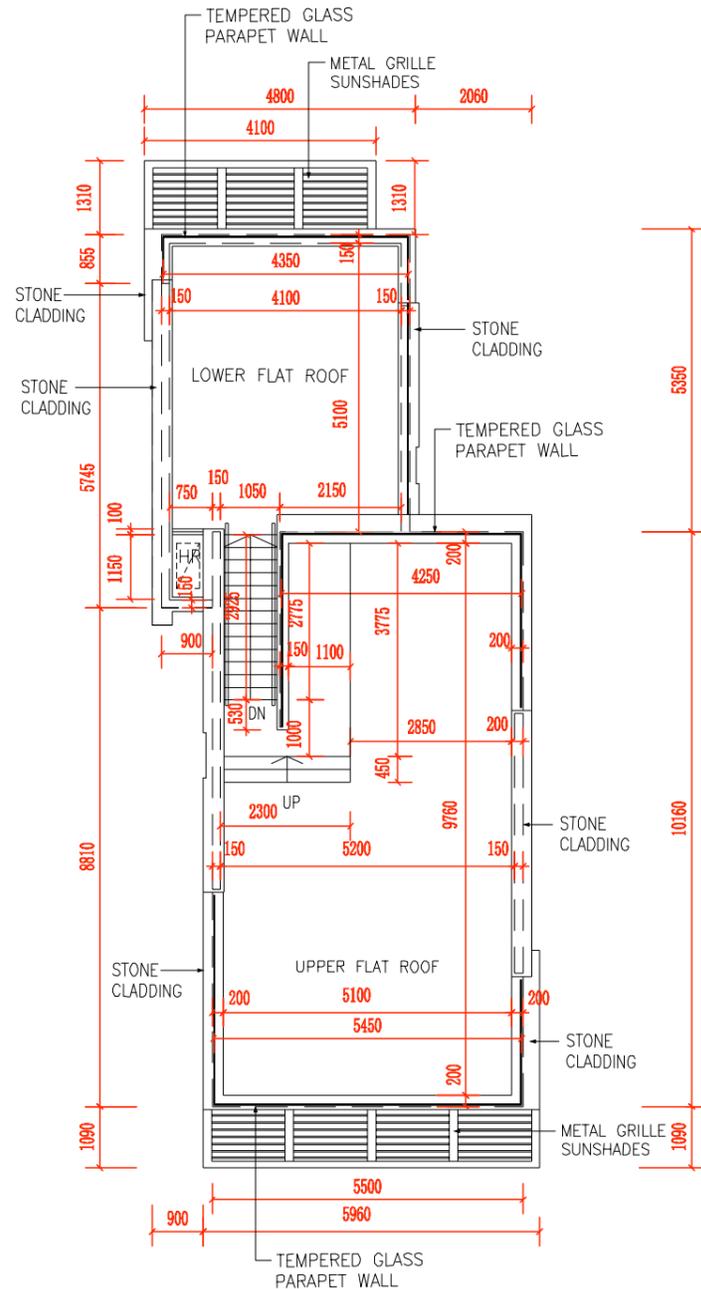
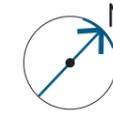


# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

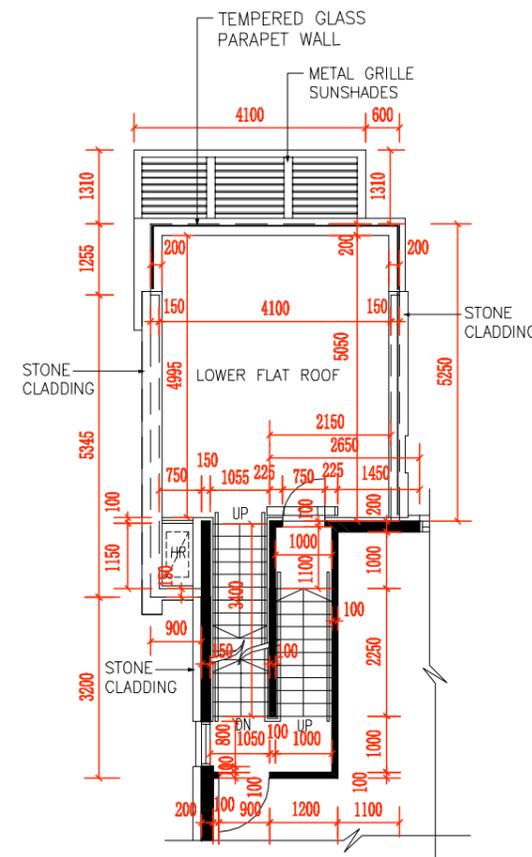
## 發展項目的住宅物業的樓面平面圖

### HOUSE 10 10 號洋房

Remark: House 10 is no longer owned by the Vendor or the holding companies of Vendor  
備註：10號洋房已非由賣方或賣方的控權公司所擁有



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

- The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
- The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

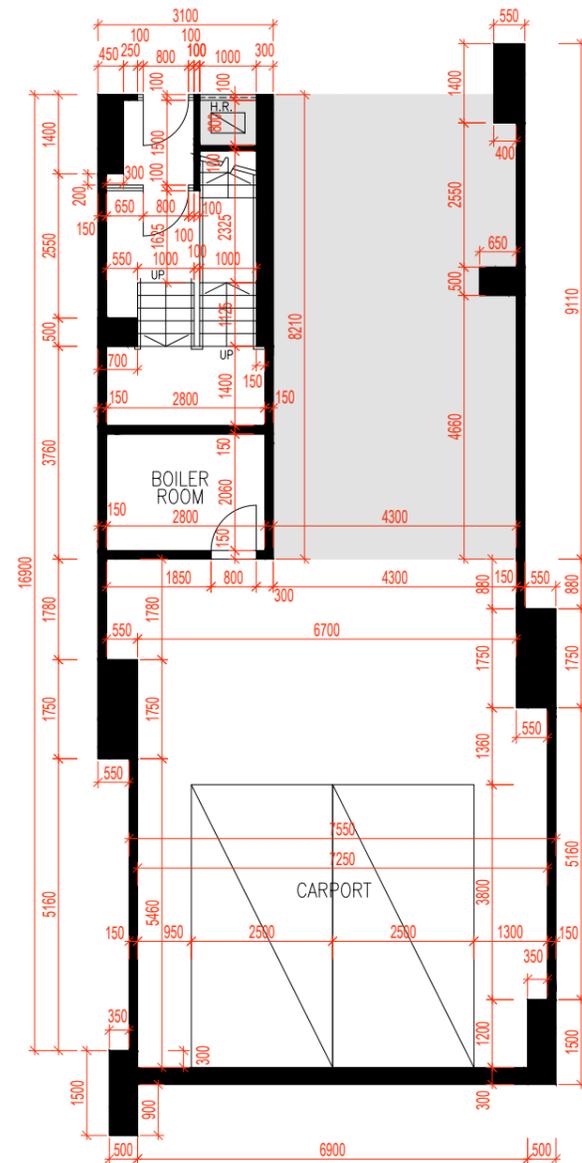
SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 11 11 號洋房



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175, 200
G/F 地下	150
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	4650
G/F 地下	2975, 4500
1/F 一樓	3275, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

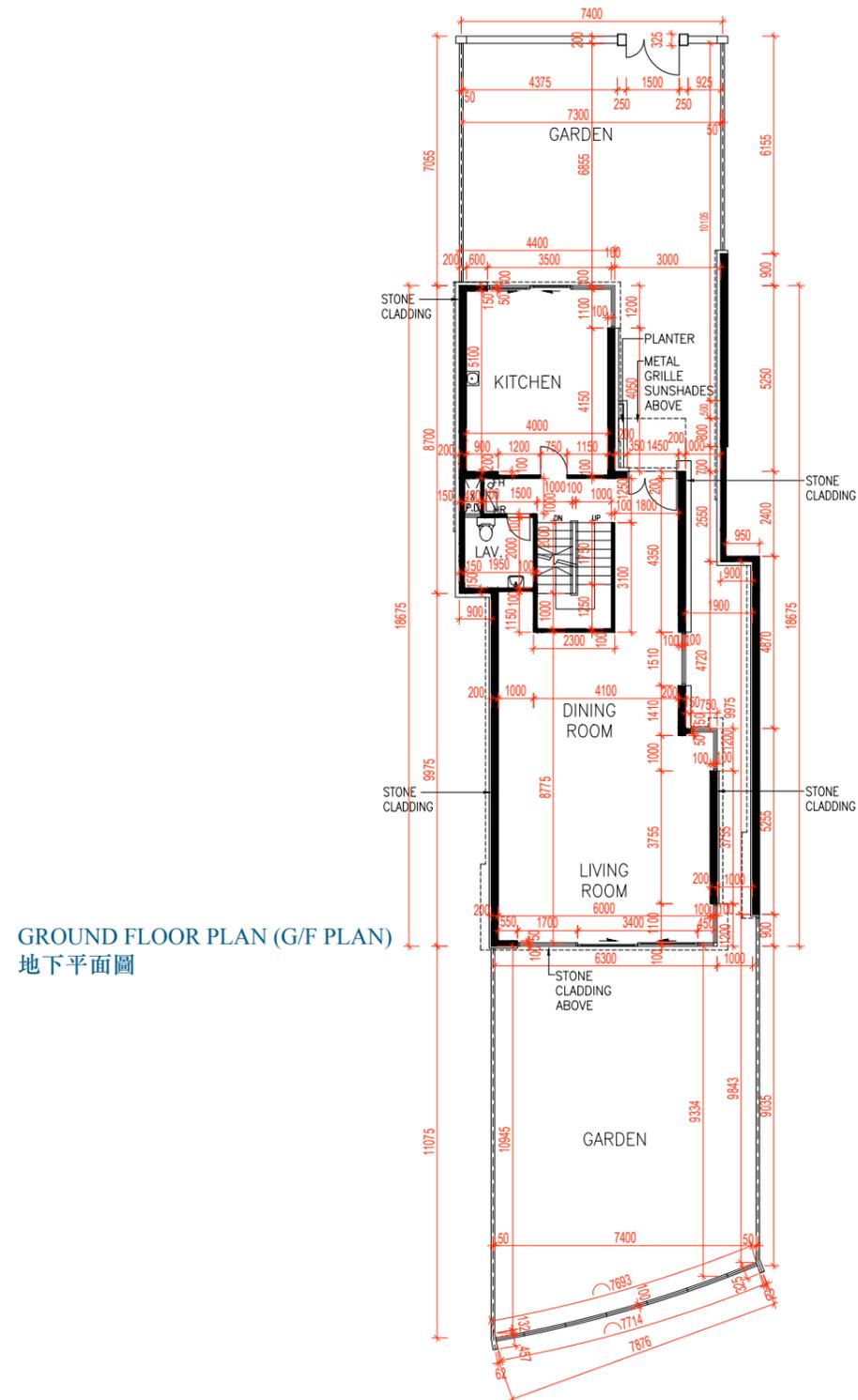
SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 11 11 號洋房



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
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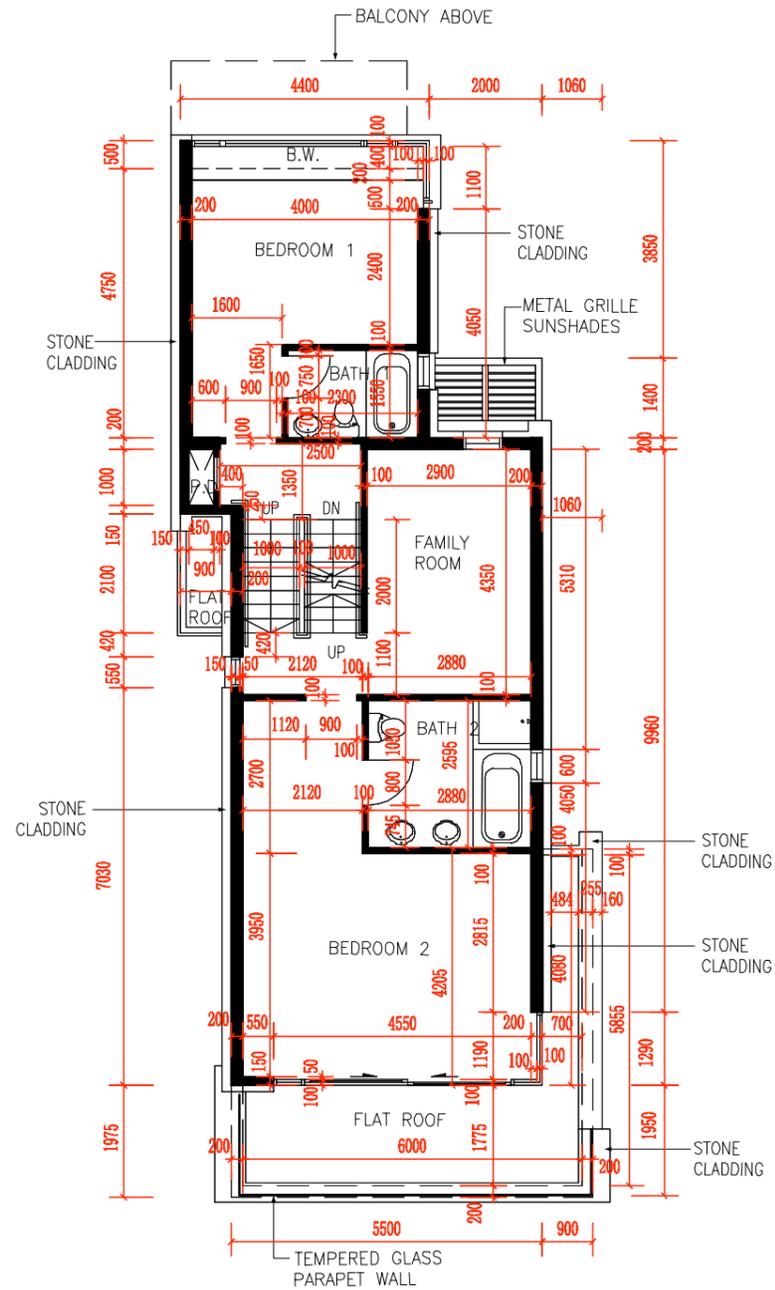
SCALE 比例：



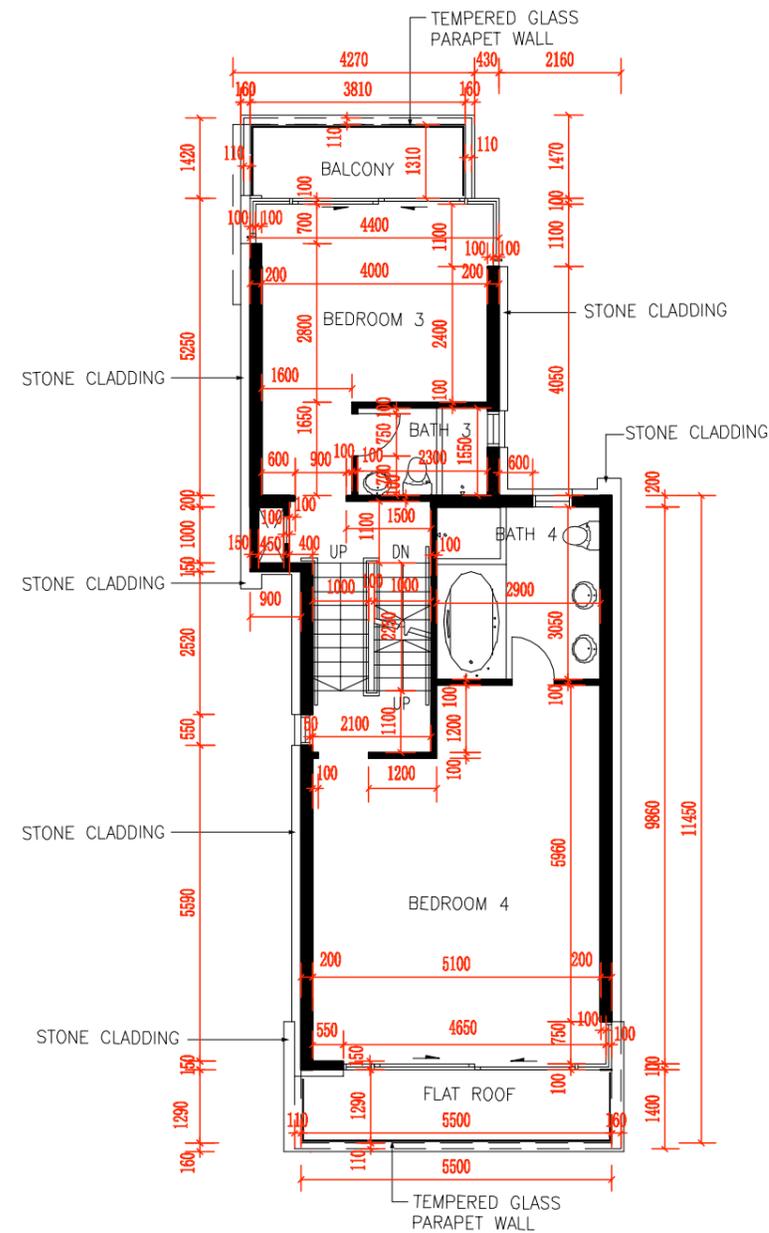
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 11 11 號洋房



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
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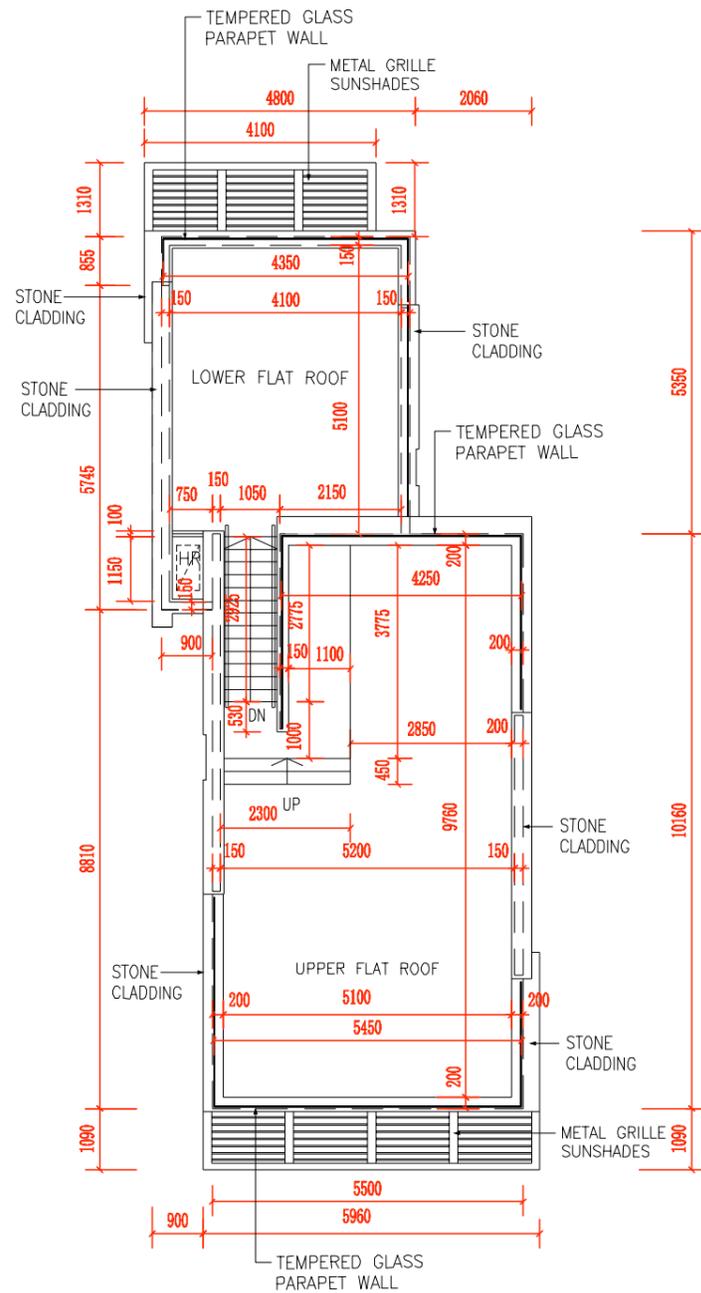
SCALE 比例：



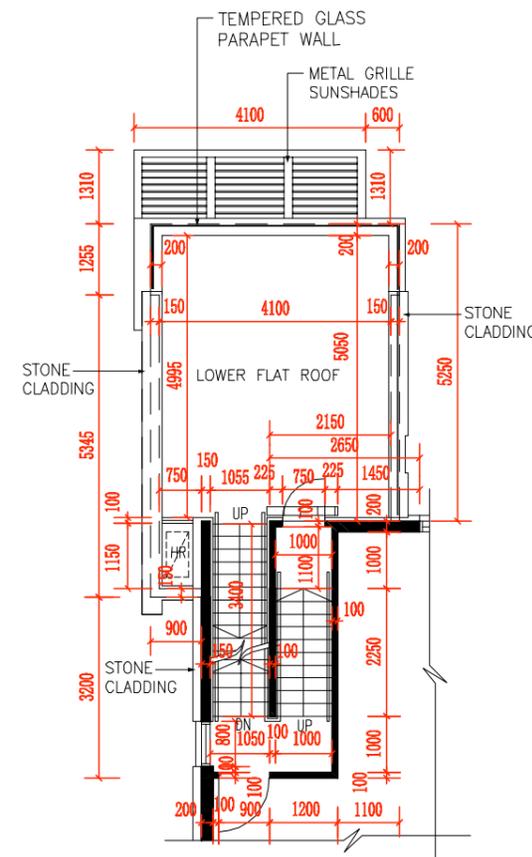
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 11 11 號洋房



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。
3. The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.

樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最新建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

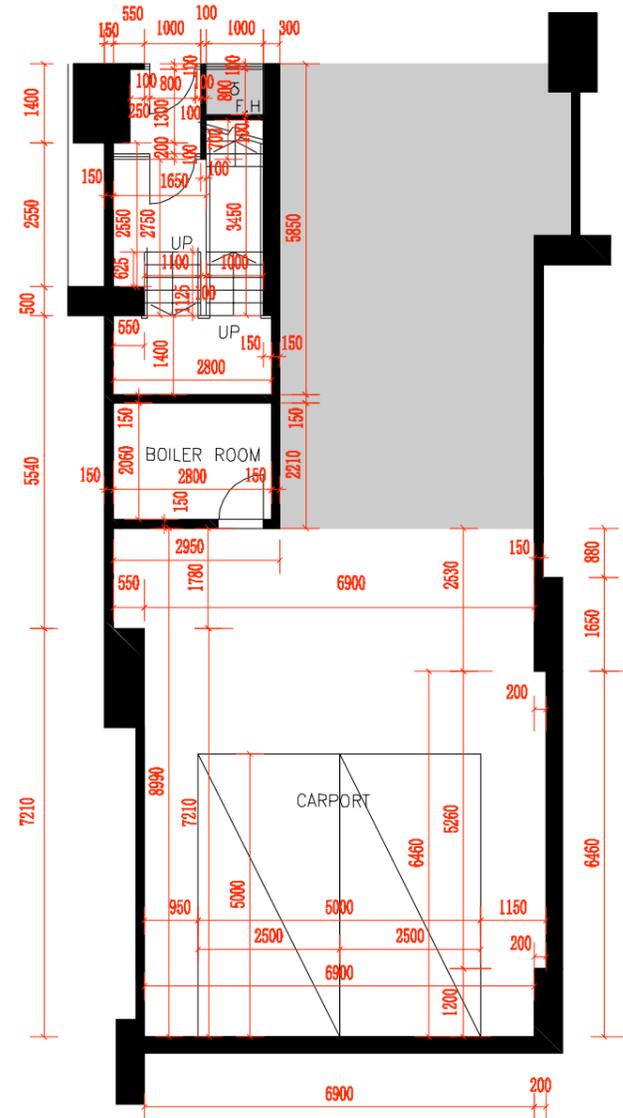
SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 12 12 號洋房



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

Legend 圖例：

COMMON AREA 公用地方

The thickness of the floor slabs (excluding plaster) of the residential property are listed as follows:

住宅物業的樓板(不包括灰泥)的厚度如下：

Floor 樓層	Thickness of floor slabs (excluding plaster) of the residential property (mm) 住宅物業的樓板(不包括灰泥)的厚度(毫米)
LG/F 低層地下	150, 175
G/F 地下	150, 175
1/F 一樓	150, 175
2/F 二樓	150, 175, 225
R/F 天台	175

The floor-to-floor heights of the residential property are listed as follows:

住宅物業的層與層之間的高度如下：

Floor 樓層	Floor to floor heights of the residential property (mm) 住宅物業的層與層之間的高度(毫米)
LG/F 低層地下	3645, 4245, 4395
G/F 地下	2825, 2975, 4300, 4500
1/F 一樓	3275, 3300, 3500
2/F 二樓	3500, 3800
R/F 天台	2300

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Notes 附註：

- The dimensions on the floor plans are all in millimetre. 樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans. 樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

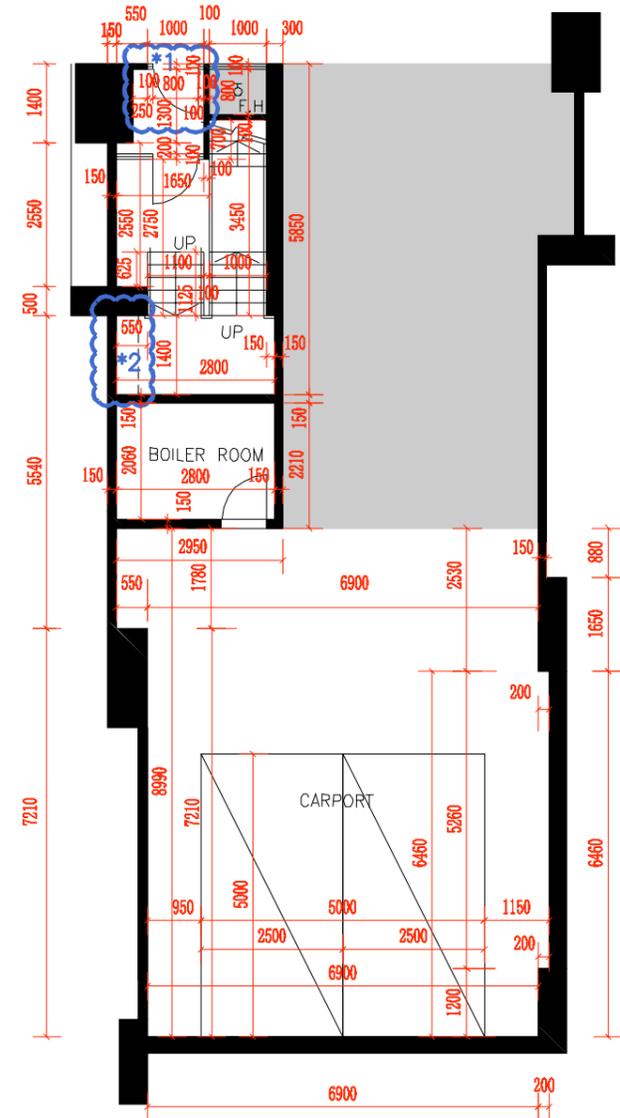
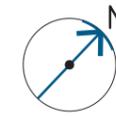
## 發展項目的住宅物業的樓面平面圖

### LATEST LAYOUT FLOOR PLAN

### 現狀間隔樓面平面圖

### HOUSE 12

### 12 號洋房



LOWER GROUND FLOOR PLAN (LG/F PLAN)  
低層地下平面圖

### House 12 Lower Ground Floor (LG/F)

House 12 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Door swing direction has been changed
2. Cabinet has been installed

### 12號洋房低層地下

12號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 門的開啟方向已改變
2. 櫃已安裝

### Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

### SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 12 12 號洋房



GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第 15 頁。

SCALE 比例：



# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### LATEST LAYOUT FLOOR PLAN

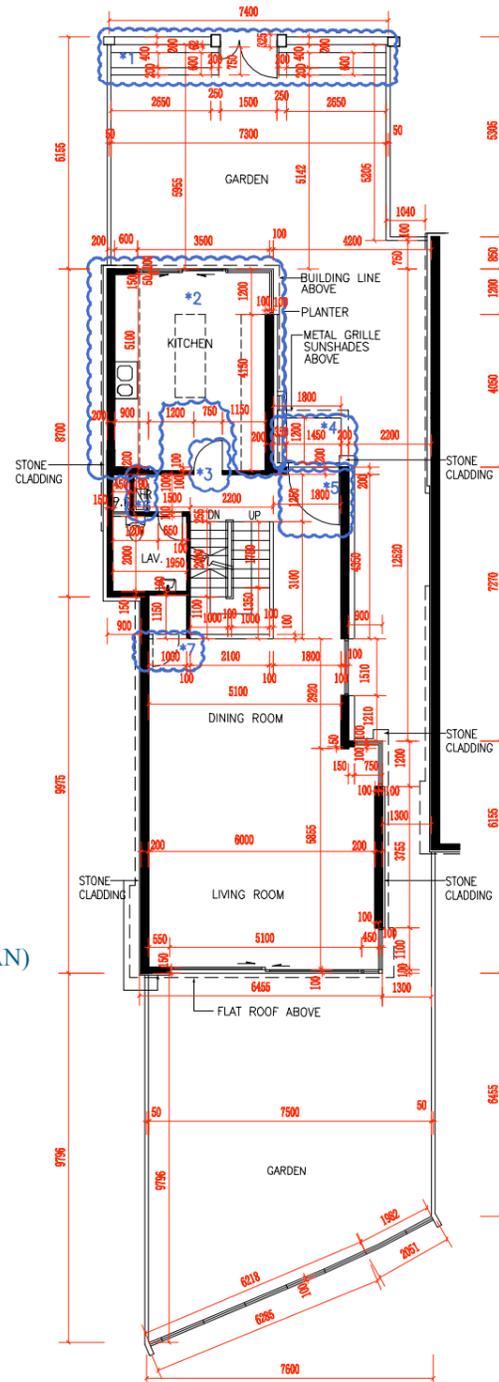
### 現狀間隔樓面平面圖

### HOUSE 12

### 12 號洋房



GROUND FLOOR PLAN (G/F PLAN)  
地下平面圖



### House 12 Ground Floor (G/F)

House 12 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Planter has been added
2. Kitchen wooden cabinets have been installed. Sink unit has been replaced
3. Door swing direction has been changed
4. Curb has been added
5. Entrance door has been changed to single leaf door
6. Cabinet has been installed
7. Swing door has been installed

### 12號洋房地下

12號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 已添加花槽
2. 廚房木製櫃已安裝。洗手盆已更換
3. 門的開啟方向已更改
4. 已添加路緣
5. 入口門已更換為單扇門
6. 櫃已安裝
7. 已安裝掩門

### Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

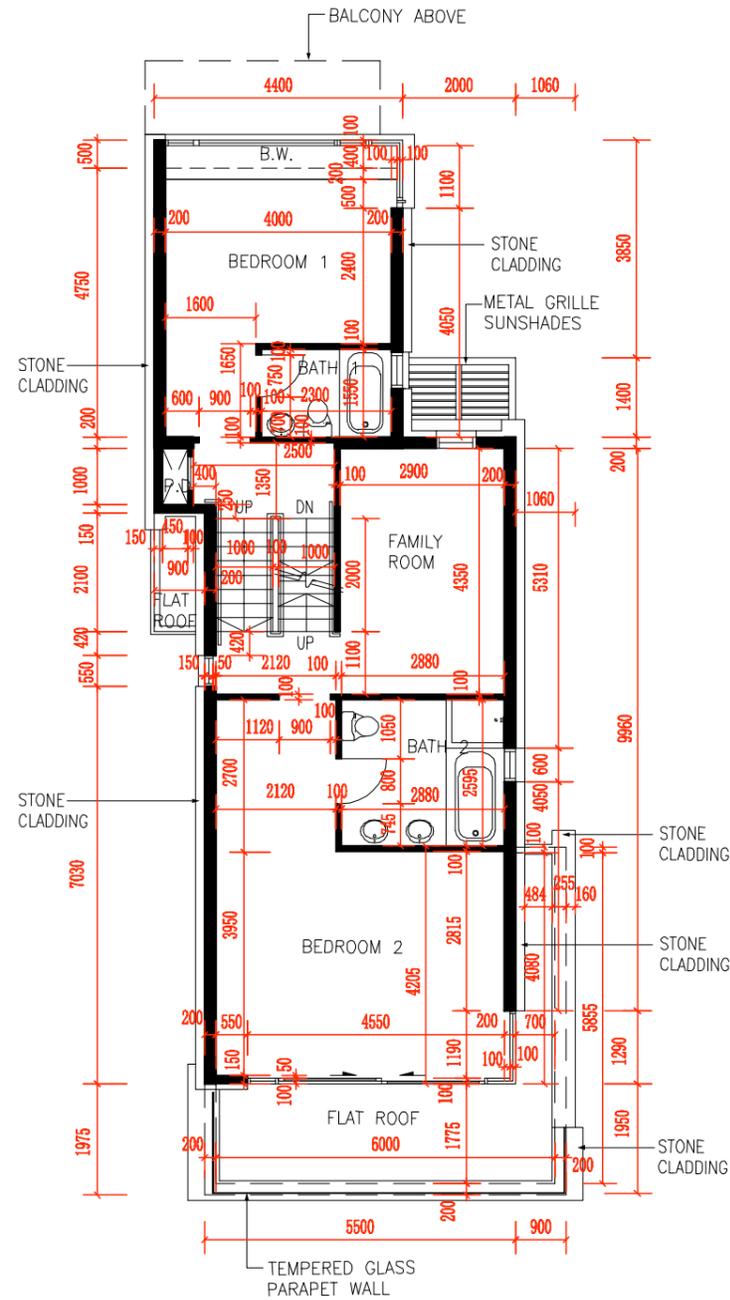
### SCALE 比例：



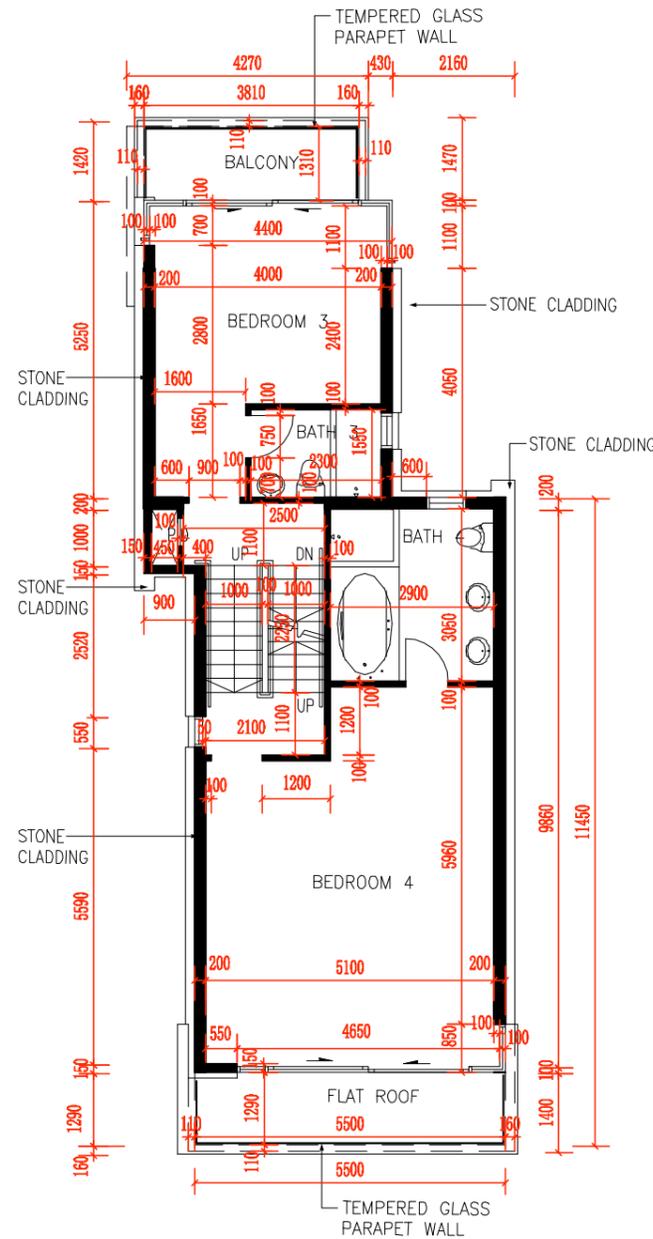
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 12 12 號洋房



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖

Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第 15 頁。

SCALE 比例：



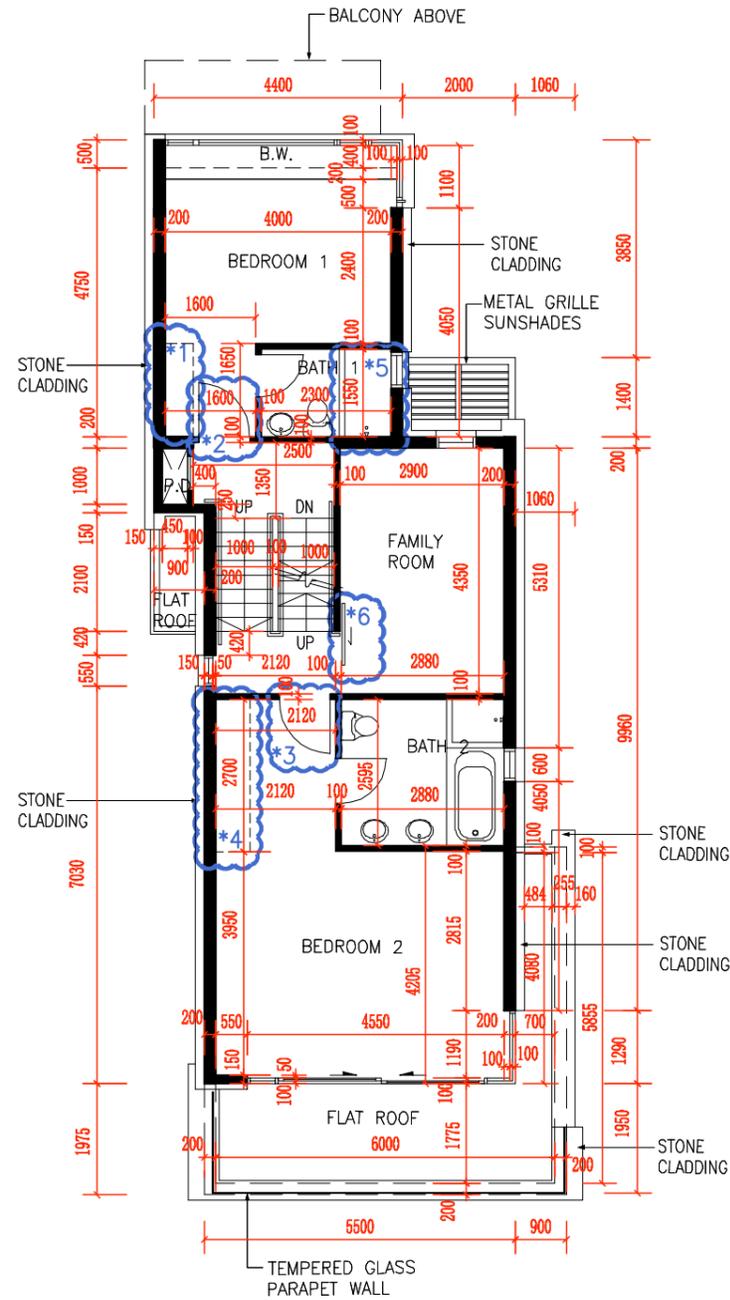
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

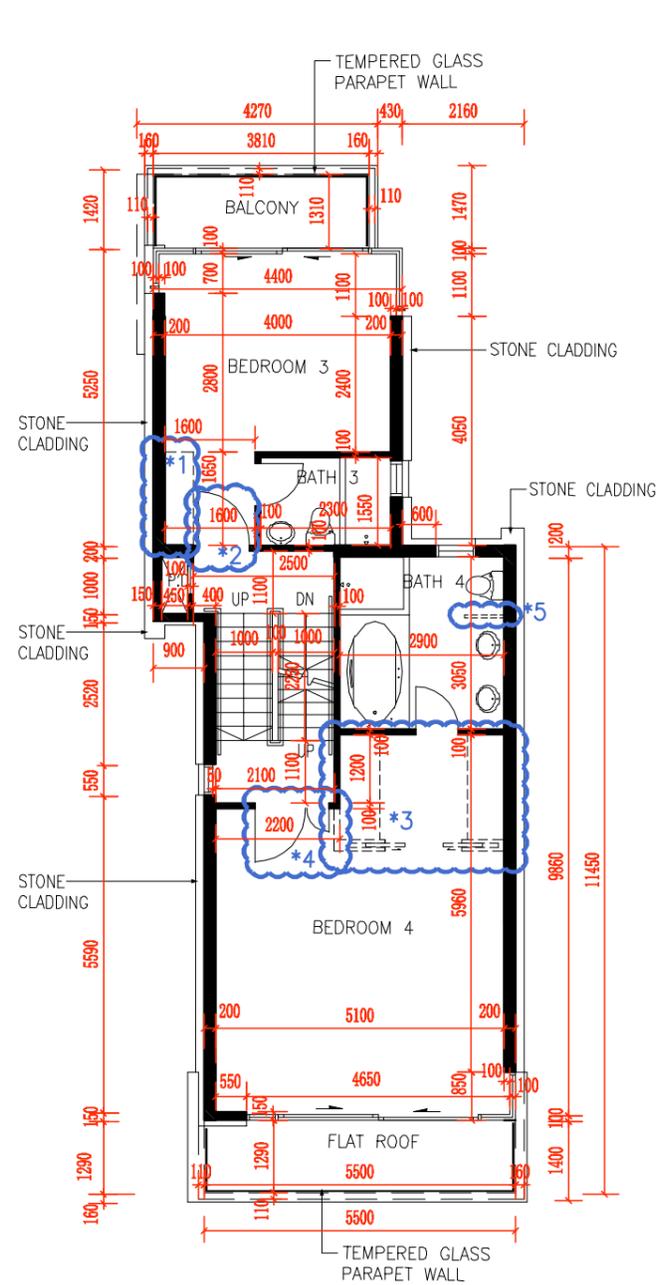
### LATEST LAYOUT FLOOR PLAN

### 現狀間隔樓面平面圖

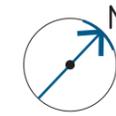
### HOUSE 12 12號洋房



FIRST FLOOR PLAN (1/F PLAN)  
一樓平面圖



SECOND FLOOR PLAN (2/F PLAN)  
二樓平面圖



### House 12 First Floor (1/F)

House 12 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest layout floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Cabinet has been installed
2. Swing door has been installed
3. Swing door has been installed
4. Cabinet has been installed
5. Bath tub has been replaced by shower
6. Sliding has been installed

### 12號洋房1樓

12號洋房在發展項目落成後進行獲《建築物條例》豁免的工程及小型工程。改動的大概位置於現狀間隔樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 櫃已安裝
2. 已安裝掩門
3. 已安裝掩門
4. 櫃已安裝
5. 浴缸改為淋浴
6. 已安裝趟門

### House 12 Second Floor (2/F)

House 12 has been altered by way of exempted works and minor works under the Buildings Ordinance after completion of the Development. The approximate locations of the alterations are indicated on the latest floor plans and the details of the alterations are set out below (the below numberings refer to the marked alterations on the plan):

1. Cabinet has been installed
2. Swing door has been installed
3. Walk-in closet has been installed
4. Wall opening has been shifted and swing door has been installed
5. Glass partition has been added

### 12號洋房2樓

12號洋房在發展項目落成後進行獲《建築物條例》豁免及小型工程。該等改動的位置於現狀樓面平面圖中標出。該等改動列出如下(下文編號對應圖中改動編號)：

1. 櫃已安裝
2. 已安裝掩門
3. 安裝衣帽間
4. 牆壁開口已移動並安裝了掩門
5. 加裝玻璃隔牆

#### Notes 附註：

1. The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
2. Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第15頁。

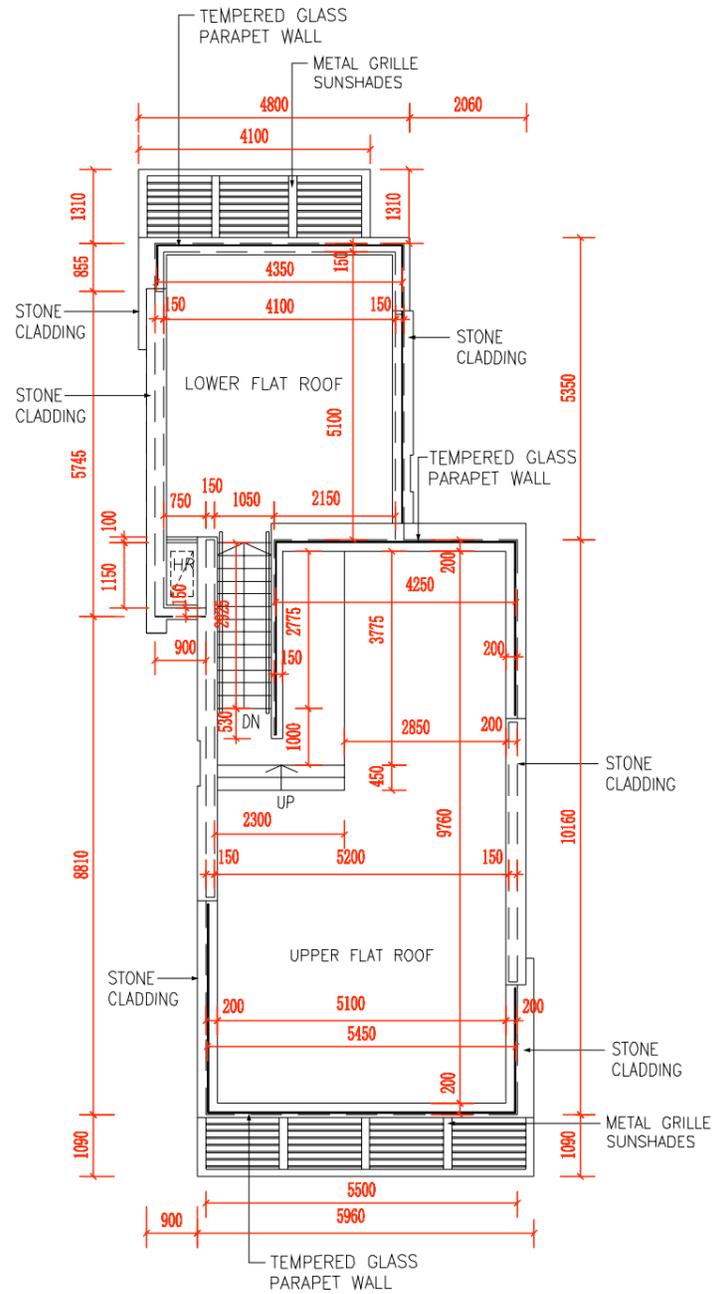
#### SCALE 比例：



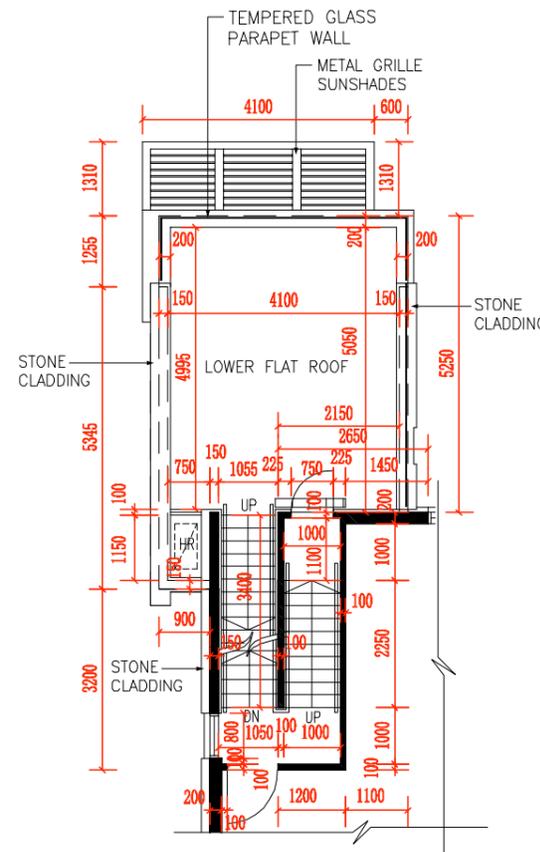
# 11 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

### HOUSE 12 12 號洋房



ROOF PLAN (R/F PLAN)  
天台平面圖



PART PLAN OF STAIRCASE  
TO FLAT ROOF  
樓梯往天台部分平面圖

Notes 附註：

- The dimensions on the floor plans are all in millimetre.  
樓面平面圖所列之所有尺寸均以毫米標示。
- Please refer to page 15 of this sales brochure for legend of terms and abbreviations shown on floor plans.  
樓面平面圖中的名稱及簡稱請參閱本售樓書說明書第 15 頁。
- The description of "Upper Flat Roof" and "Lower Flat Roof" as shown on the floor plan corresponds to the description in the latest approved building plans of the Development but such Flat Roofs are for actual use as Roof. In this connection, such Flat Roofs have been treated as part of the "Roof" specified in Part 1 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance (Cap.621) of House.  
樓面平面圖上顯示為「上層平台」及「低層平台」之描述，與發展項目批准的最近建築圖則上所描述的一致，惟有關平台實際用途為天台。因此，有關平台已根據《一手住宅物業銷售條例》(第621章)附表2第1部份，計入洋房所指明的「天台」。

SCALE 比例：





# 12 AREA OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目中的住宅物業的面積

Description of Residential Property 住宅物業的描述	Saleable Area (including balcony, utility platform and verandah (if any)) sq. metre (sq. ft) 實用面積 (包括露台, 工作平台及陽台(如有)) 平方米(平方呎)	Area of other specified items (Not included in the Saleable Area) sq. metre (sq. ft) 其他指明項目的面積(不計算入實用面積)平方米(平方呎)									
		Air-Conditioning Plant Room 空調機房	Bay Window 窗台	Cockloft 閣樓	Flat Roof 平台	Garden 花園	Parking Space 停車位	Roof 天台	Stairhood 梯屋	Terrace 前庭	Yard 庭院
House 1 1號洋房	362.89 (3,906) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	12.82 (138)	387.03 (4,166)	64.10 (690)	96.15 (1,035)	1.05 (11)	-	-
House 2 2號洋房	361.50 (3,891) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	12.82 (138)	204.29 (2,199)	70.33 (757)	96.15 (1,035)	1.05 (11)	-	-
House 3 3號洋房	295.00 (3,175) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	192.68 (2,074)	64.38 (693)	72.93 (785)	1.10 (12)	-	-
House 5 5號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	191.66 (2,063)	64.29 (692)	72.93 (785)	1.10 (12)	-	-
House 6 6號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	190.64 (2,052)	64.29 (692)	72.93 (785)	1.10 (12)	-	-
House 8 8號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	173.36 (1,866)	64.29 (692)	72.93 (785)	1.10 (12)	-	-
House 9 9號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	170.57 (1,836)	64.29 (692)	72.93 (785)	1.10 (12)	-	-
House 10 10號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	167.32 (1,801)	64.29 (692)	72.93 (785)	1.10 (12)	-	-
House 11 11號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	159.51 (1,717)	64.29 (692)	72.93 (785)	1.10 (12)	-	-
House 12 12號洋房	294.63 (3,171) Balcony 露台: 4.99 (54) Utility Platform 工作平台: - (-)	-	2.20 (24)	-	21.65 (233)	151.80 (1,634)	64.10 (690)	72.93 (785)	1.10 (12)	-	-

The saleable area of each residential property is calculated in accordance with Section 8 of the Residential Properties (First-hand Sales) Ordinance (Cap.621).

每個住宅物業的實用面積是按照《一手住宅物業銷售條例》(第621章)第8條計算得出的。

The floor area of balcony, utility platform and verandah (if any) to the extent that it forms part of the residential property is calculated in accordance with Section 8 of the Residential Properties (First-hand Sales) Ordinance (Cap.621).

在構成住宅物業一部份範圍內的露台、工作平台及陽台(如有)的樓面面積是按照《一手住宅物業銷售條例》(第621章)第8條計算得出的。

The area of every one of the other specified items (if any) to the extent that it forms part of the residential property is calculated in accordance with Part 2 of Schedule 2 to the Residential Properties (First-hand Sales) Ordinance (Cap.621).

在構成住宅物業一部份範圍內的每一其他指明的項目(如有)的面積是按照《一手住宅物業銷售條例》(第621章)附表2第2部計算得出的。

Notes 附註:

1. Areas in square feet are converted at a rate of 1 square metre to 10.764 square feet and rounded to the nearest square foot.

以平方呎顯示之面積均依據1平方米=10.764平方呎換算,並四捨五入至整數。

2. There is no utility platform and verandah in the residential properties of the Development.

發展項目的住宅物業並無工作平台及陽台。

3. House numbers 4 and 7 are omitted.

不設四號洋房及七號洋房。

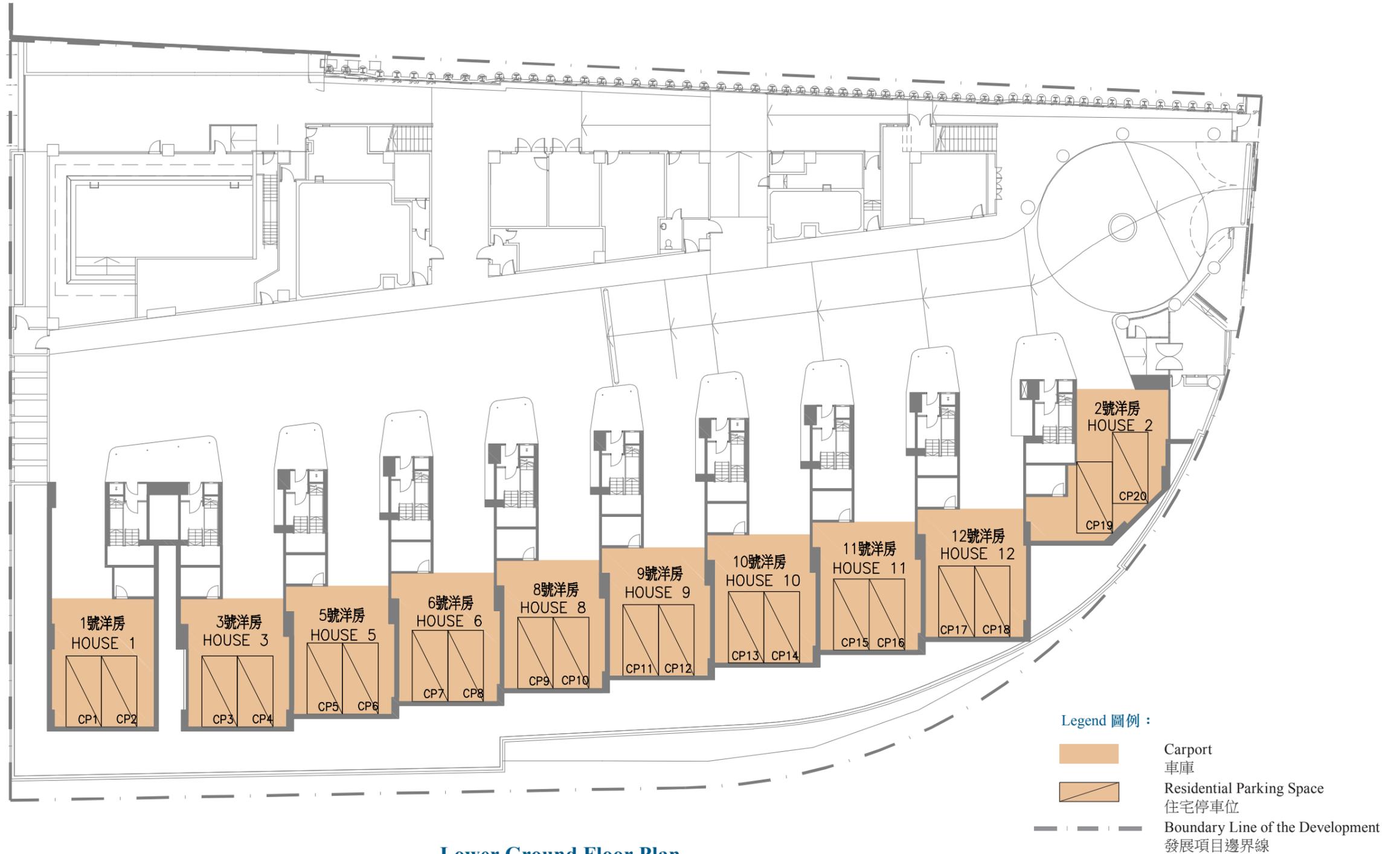
4. The area of the Parking Space specified in the section "Area of Residential Properties in the Development" in this sales brochure includes the area of the entire carport of the House (as indicated in the section "Floor Plans of Parking Spaces in the Development" in this sales brochure). For the area inside the carport which is designated under the land grant for parking purpose, please refer to the area of parking space under the section "Floor Plans of Parking Spaces in the Development" in this sales brochure.

本售樓說明書「發展項目中的住宅物業的面積」一節所列停車位之面積包括相關洋房之車庫(車庫於本售樓說明書「發展項目中的停車位的樓面平面圖」一節有所標示)之全部面積。批地文件指明車庫內用作停放車輛的地方之面積,請參閱本售樓說明書「發展項目中的停車位的樓面平面圖」一節之車位面積。

# 13 FLOOR PLANS OF PARKING SPACES IN THE DEVELOPMENT

## 發展項目中的停車位的樓面平面圖

Floor Plan of Parking Spaces  
停車位的樓面平面圖



Lower Ground Floor Plan  
低層地下平面圖

# 13 FLOOR PLANS OF PARKING SPACES IN THE DEVELOPMENT

## 發展項目中的停車位的樓面平面圖

### Locations, number, dimensions and areas of parking spaces in the development

#### 發展項目中的停車位的位置、數目、尺寸及面積

House Number 洋房	Location 位置	Number of Parking Spaces 停車位數目	Dimensions of Each Parking Space (L x W) (m) 每個停車位之呎吋(長 x 闊)(米)	Area of Each Parking Space sq.m. (sq.ft.) 每個停車位之面積平方米(平方呎)
#House 1 #1號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
#House 2 #2號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
House 3 3號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
#House 5 #5號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
#House 6 #6號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
#House 8 #8號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
House 9 9號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
#House 10 #10號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
House 11 11號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)
House 12 12號洋房	Lower Ground Floor 低層地下	2	5 x 2.5	12.5 (135)

#### Notes 備註：

# Houses 1, 2, 5, 6, 8 and 10 are no longer owned by the vendor(s) or holding companies of the vendor(s).

1號、2號、5號、6號、8號及10號洋房已非由賣方或賣方之控權公司所擁有。

1. Parking space in this section refers to area which is designated under the land grant for parking purposes.

此部份的停車位指於批地文件中指定作停車用途的位置。

2. Area in square feet are converted at a rate of 1 square metre to 10.764 square feet and rounded to the nearest square foot.

以平方呎顯示之面積均依據1平方米=10.764平方呎換算，並四捨五入至整數。

# 14 SUMMARY OF PRELIMINARY AGREEMENT FOR SALE AND PURCHASE

## 臨時買賣合約的摘要

1. A preliminary deposit of 5% is payable on the signing of the preliminary agreement for sale and purchase.
  2. The preliminary deposit paid by the purchaser on the signing of that preliminary agreement will be held by a firm of solicitors acting for the owner, as stakeholders.
  3. If the purchaser fails to execute the agreement for sale and purchase within 5 working days after the date on which the purchaser enters into that preliminary agreement -
    - (i) that preliminary agreement is terminated;
    - (ii) the preliminary deposit is forfeited; and
    - (iii) the owner does not have any further claim against the purchaser for the failure.
1. 在簽署臨時買賣合約時須支付款額為5%的臨時訂金。
  2. 買方在簽署該臨時合約時支付的臨時訂金，會由代表擁有人行事的律師事務所以保證金保存人的身分持有。
  3. 如買方沒有於訂立該臨時合約的日期之後5個工作日內簽立買賣合約 -
    - (i) 該臨時合約即告終止；
    - (ii) 有關的臨時訂金即予沒收；及
    - (iii) 擁有人不得就買方沒有簽立買賣合約而針對買方提出進一步申索。

# 15 SUMMARY OF DEED OF MUTUAL COVENANT

## 公契的摘要

### 1.A. The common parts of the Development

The Deed of Mutual Covenant Incorporating Management Agreement (“DMC”) provides for the following Common Areas and Facilities:-

“**Common Areas and Facilities**” means and includes:-

- (a) the Recreational Areas and Facilities, the Works and Installations (except those of the Houses), an office accommodation for caretakers, an owners’ committee office, the Slopes & Retaining Walls (unless the same are outside the boundaries of the Lot), areas for the installation or use of aerial broadcast distribution or telecommunications network facilities;
- (b) such of skylight, emergency vehicular access, driveways, steps, ramps, open and covered landscape areas, covered walkways, footpaths, slopes, berm, retaining structures, planters, external walls (except those of the Houses), fresh water pump room and check meter cabinet for fire services inlet tank, flush water pump room, fire services water tank, low voltage switch room, high voltage switch room, transformer room, telecommunications and broadcasting room, sprinkler and fire services pump room, fire services control room, sprinkler water tank, filtration plant room, water supply master meter room and sprinkler inlet and fire services inlet, refuse storage & material recovery chamber, glass parapet walls, reinforced concrete fence wall, fire resisting period block wall, maintenance access and such other parts, areas, devices and facilities in or under or on or within the Lot and the Development intended for the common use and benefit of the Development in accordance with the DMC;
- (c) such of the drains, gutters, channels, water courses, pipes, ducts, pumps, telephone ducts, sewers, water intakes and mains, sanitary fittings, wires, cables, conduits, electrical installations, fittings, equipment and apparatus and other services and facilities whether ducted or otherwise which are or at any time may be in under or over or passing through the Lot through which fresh or salt water, sewage, gas, electricity, telecommunication facilities and other services are supplied to or removed from the Development, lighting facilities, lamp posts and other lighting installation, fire prevention and fighting equipment and apparatus, security systems and installations, equipment and apparatus and any other areas, mechanical systems, devices, facilities, fixtures, fittings, machinery, apparatus, installations and backup emergency systems (if any) from time to time installed or provided for the common use and benefit of the Development in accordance with the DMC; and
- (d) where appropriate, the reference to “common parts” as defined in the Building Management Ordinance (Cap.344) (save and except such part(s) as specifically included in a House assigned)

But excluding such areas within the Development the exclusive right and privilege to hold, use, occupy and enjoy the same belongs to any particular owner and such facilities within the Development serving only any particular owner.

#### “**Club House**”

means the club house including the facilities comprising of, inter alia, an indoor swimming pool and such other areas and facilities as are now or from time to time approved by the Director of Lands;

#### “**Recreational Areas and Facilities**”

means and includes the Club House and such of the recreational areas and facilities for common use and benefit of all the residents of the Development and their bona fide visitors as approved in writing by the Director of Lands under Condition (af)(i) of the Second Schedule to the Modification Letter (M/N 08042101560028) and such other recreational areas and facilities as are now or from time to time constructed by the First Owner and designed for such purposes and approved by the Director of Lands;

#### “**Slopes and Retaining Walls**”

means all slopes, retaining walls, slope treatment works, boundary walls (excluding those specifically included in a House assigned) and/or other structures (if any) within or outside the Lot as shown coloured red on the plan (of a scale of not less than 1:500) certified as to their accuracy and inclusion of all the slopes structures by the Authorized Person and attached to the DMC the maintenance of which is the liability of the owners under the provisions of the Government Grant or the DMC;

#### “**Works and Installations**”

means all major works and installations, including structural elements, external wall finishes and roof materials, fire safety elements, the Slopes and Retaining Walls, plumbing system, drainage system, fire services installations and equipment, electrical wiring system, gas supply system, window installations and central air-conditioning and ventilation system, in the Development which will require regular maintenance on a recurrent basis and from time to time revised or issued in accordance with the provisions of the DMC, the maintenance of which is the liability of the owners under the provisions of the Government Grant or the DMC;

### B.

- (a) No owner shall have the right to convert the Common Areas and Facilities or any part thereof to his own use or for his own benefit unless with the approval by a resolution of the Owners’ Committee.
- (b) No part of the Common Areas and Facilities shall be obstructed nor shall any refuse or other matter or things be placed or left thereon and no owner shall do or suffer or permit to be done anything in such areas as may be or become a nuisance to any other owners or occupiers of any other part of the Development.
- (c) The Common Areas and Facilities shall be under the exclusive management and control of the Manager.

### 2. The number of undivided shares assigned to each residential property in the Development

House No.	No. of the Undivided Shares
House 1	1,719 / 14,112
House 2	1,625 / 14,112
House 3	1,343 / 14,112
House 5	1,342 / 14,112
House 6	1,341 / 14,112
House 8	1,333 / 14,112
House 9	1,331 / 14,112
House 10	1,330 / 14,112
House 11	1,326 / 14,112
House 12	1,322 / 14,112

### 3. The term of years for which the manager of the Development is appointed

The Manager is appointed for an initial term of two (2) years commencing from the date of the DMC and such appointment shall continue until termination of the appointment in accordance with the provisions of the DMC.

### 4. The basis on which the management expenses are shared among the owners of the residential properties in the Development

Based on the annual management budget prepared by the Manager; each owner shall contribute towards the management expenses pro rata to the Management Shares allocated to each residential property.

House No.	No. of the Management Shares
House 1	1,719 / 14,012
House 2	1,625 / 14,012
House 3	1,343 / 14,012
House 5	1,342 / 14,012
House 6	1,341 / 14,012
House 8	1,333 / 14,012
House 9	1,331 / 14,012
House 10	1,330 / 14,012
House 11	1,326 / 14,012
House 12	1,322 / 14,012

### 5. The basis on which the management fee deposit is fixed

Management fee deposit is equivalent to 2 months’ monthly management fees.

### 6. The area (if any) in the Development retained by the owner for its own use

Not applicable.

Note:

Unless otherwise defined in this sales brochure, capitalized terms used in this Summary of Deed of Mutual Covenant shall have the same meaning of such terms in the DMC.

# 15 SUMMARY OF DEED OF MUTUAL COVENANT

## 公契的摘要

### 1.A. 發展項目的公用部份

公契及管理協議(“公契”)訂明以下公用地方及設施:-

“公用地方及設施”指並包括:-

- (a) 康樂地方及設施、工程及裝置(洋房的工程及裝置除外)、看更辦公間、業主委員會辦事處、斜坡及護土牆(位於該地段範圍外除外)及裝置或使用天線廣播分配系統或電訊網絡設施的地方;
- (b) 諸如天窗、緊急車輛通道、車道、梯階、斜路、露天及有蓋園景地帶、有蓋行人道、行人路、斜坡、狹道、擋土構築物、花槽、外牆(洋房的外牆除外)、食水泵房及消防入水口檢測錶箱、沖水泵房、消防水箱、低壓電掣室、高壓電掣室、變壓房、電訊及廣播房、花灑及消防泵房、消防監控室、花灑水箱、濾水機房、總水錶房、花灑及消防入水口、垃圾及物料回收房、玻璃圍牆、鋼筋混凝土護牆、防火阻隔牆、維修通道和按照大廈公契在該地段及該發展項目內、之下或之上擬供該發展項目共同使用及為其利益的其他部份、地方、器材及設施;
- (c) 諸如排水渠、雨水渠、溝渠、水道、喉管、導管、水泵、電話線管、污水管、入水口及總水管、衛生設備、電線、電纜、管道、電力安裝、裝置、設備及器材和其他服務及設施(不論是否經導管或其他)透過或在任何時間可能透過該地段以內、以下、以上或穿過該地段,以供應或排走該發展項目的淡或鹹水、污水、燃氣、電力、電訊設施及其他服務,照明設施、燈柱及其他照明裝置、防火及滅火器材及設備、保安系統及裝置、器材及設備和不時按照大廈公契設置或提供予該發展項目共同使用及整體利益的任何其他地方、機械系統、器材、設施、固定附着物、裝置、機械、器具、緊急系統裝置及支援(如有的話);
- (d) 如適用,建築物管理條例(第344章)定義的“公用部分”所提及的地方(被明確列入轉讓的洋房部份除外)

但不包括某業主在該發展項目內擁有專有權利和特權持有、使用、佔用和享用的地方或該發展項目內只由某業主專用的設施。

#### “會所”

指會所及包括其設施,其中有室內游泳池和現在或不時由地政總署署長批准的其他地方及設施;

#### “康樂地方及設施”

指包括會所和按照修訂書(註冊編號為08042101560028)附件二第(af)(i)條規定由地政總署署長以書面批准供該發展項目住戶和其真實訪客受惠,並共同使用之康樂地方及設施,及由第一業主經地政總署署長批准現時或不時興建及設計作康樂用途之其他康樂地方及設施;

#### “斜坡及護土牆”

指在該地段之內或之外在大廈公契夾附由認可人士認證其準確性及包括所有斜坡構築物之圖則(以不少於1:500的比例)上以紅色部份顯示之所有斜坡、護土牆、斜坡整理工程、邊界牆(被明確列入轉讓的洋房的邊界牆除外)及/或其他構築物(如有的話)。按政府批地書及大廈公契規定,業主應負有關之維修責任;

#### “工程及裝置”

指該發展項目內需要經常性定期維修的所有重大工程及裝置,包括結構組件、外牆裝修物料及天台物料、消防安全設施組件、斜坡及護土牆、水管系統、排水系統、消防裝置及設備、電線系統、燃氣供應系統、窗戶安裝及中央空調及通風系統,以及按大廈公契條文不時指定或修訂的,而按政府批地書或大廈公契的條文規定,該工程及裝置的維修應由業主負責;

### B.

- (a) 除非已經取得業主委員會的批准,業主不得將任何公用地方及設施改作自用或供其受益。
- (b) 公用地方及設施的任何部分不得被阻塞,也不得在其上放置或遺留任何垃圾或其他物品或物件。業主亦不得在該等地方作出或容忍作出或容許作出任何可能或成為對該發展項目其他部分的業主或佔用人造成滋擾的事情。
- (c) 公用地方及設施將專由管理人管理和控制。

### 2. 分配予發展項目中的每個住宅物業的不分割份數的數目

洋房	不分割份數
1號洋房	1,719 / 14,112
2號洋房	1,625 / 14,112
3號洋房	1,343 / 14,112
5號洋房	1,342 / 14,112
6號洋房	1,341 / 14,112
8號洋房	1,333 / 14,112
9號洋房	1,331 / 14,112
10號洋房	1,330 / 14,112
11號洋房	1,326 / 14,112
12號洋房	1,322 / 14,112

### 3. 發展項目的管理人的委任年期

管理人的首屆任期將由大廈公契日期起計兩年,期滿後將繼續執任,直至其委任按大廈公契條文終止為止。

### 4. 管理開支按甚麼基準在發展項目中的住宅物業的擁有人之間分擔

按管理人所制訂的年度管理預算,業主須按其住宅單位的管理份數的比例支付管理費。

洋房	管理份數
1號洋房	1,719 / 14,012
2號洋房	1,625 / 14,012
3號洋房	1,343 / 14,012
5號洋房	1,342 / 14,012
6號洋房	1,341 / 14,012
8號洋房	1,333 / 14,012
9號洋房	1,331 / 14,012
10號洋房	1,330 / 14,012
11號洋房	1,326 / 14,012
12號洋房	1,322 / 14,012

### 5. 計算管理費按金的基準

管理按金相等於2個月管理費金額。

### 6. 擁有人在發展項目中保留作自用的範圍(如有的話)

不適用。

附註:

除非售樓說明書另行定義,否則本公契的摘要所採用之專有詞彙與公契所界定者具備相同涵義。

# 16 SUMMARY OF LAND GRANT

## 批地文件的摘要

### 1. The lot number of the land on which the Development is situated:

No.6 Stanley Beach Road (the "Development") is situated on Section A of Rural Building Lot No.240.

### 2. The term of years under the lease:

75 years commencing from 12<sup>th</sup> day of January, 1924 with a right of renewal for one further term of 75 years. The right of renewal is deemed to have been exercised and a new Government lease is deemed to have been granted under and by virtue of the Government Leases Ordinance (Cap. 40).

### 3. The user restrictions applicable to that land:

- A. The lot or any part thereof or any building or part of any building erected or to be erected thereon shall not be used for any purpose other than for private residential purposes.
- B. No grave or columbarium shall be erected or made on the lot, nor shall any human remains or animal remains whether in earthenware jars, cinerary urns or otherwise be interred therein or deposited thereon.

### 4. Facilities that are required to be constructed and provided for the Government, or for public use:

- A. The Grantee shall at his own expense and in all respects to the satisfaction of the Director of Lands (the "Director") lay, form, provide, construct, landscape, uphold, manage, maintain and repair the areas shown coloured yellow on the plan marked "PLAN A" annexed to the Land Grant (the "Yellow Areas") in accordance with Condition (ac) of the Land Grant.

### 5. The grantee's obligations to lay, form or landscape any areas, or to construct or maintain any structures or facilities, within or outside that land:

- A. The Grantee shall develop the lot by the erection thereon of a building or buildings in compliance with the Land Grant and all applicable laws of Hong Kong Special Administrative Region, such building or buildings to be completed and made fit for occupation on or before 31<sup>st</sup> day of December, 2012.
- B. The Grantee shall develop the whole site to the completed satisfaction of the Director and a comprehensive layout plan showing proposed method of development, proposed roads and formation levels of all buildings sites must be forwarded to the Director for approval within a prescribed time.
- C. The Grantee shall throughout the tenancy: (i) maintain

all buildings in accordance with the approved design, disposition or height and any approved building plans without variation or modification thereto; and (ii) maintain all buildings erected in good and substantial repair and condition.

- D. In the event of the demolition at any time during the tenancy of any building then standing on the lot or any part thereof the Grantee shall replace the same either by sound and substantial building(s) of the same type and of no less gross floor area or by building(s) of such type and value as shall be approved by the Director. In the event of demolition as aforesaid the Grantee shall within one calendar month of such demolition apply to the Director for consent to carry out building works for the redevelopment of the lot and upon receiving such consent shall within three calendar months thereof commence the necessary works of redevelopment and shall complete the same to the satisfaction of and within such time limit as is laid down by the Director.

- E. (i) The Grantee shall at its own expense and in all respects to the satisfaction of the Director:-

- (I) lay, form, provide, construct and landscape in such manner with such materials and to such standards, levels, alignment and design as the Director shall approve (including the provision and construction of such culverts, viaducts, sewers, drains or such other structures as the Director in his sole discretion may require) the Yellow Areas; and

- (II) uphold, manage, maintain and repair the Yellow Areas and everything thereon, therein or thereunder in good substantial repair and condition until such time as possession of the whole of the Yellow Areas has been redelivered to the Government in accordance with provisions of the Land Grant

Provided that in the event where part or parts of the Yellow Areas shall have been redelivered to the Government in accordance with provisions of the Land Grant, the obligations of the Grantee to uphold, manage, maintain and repair the Yellow Areas under this sub-clause shall cease in so far as the part or parts which have been redelivered to the Government are concerned but not further or otherwise.

- (ii) In the event of the non-fulfilment of the Grantee's obligations under sub-clause (i) above (as to which the Director's decision shall be final and binding upon the Grantee), the Government may carry out the necessary works at the cost of the Grantee who shall pay to the Government on

demand a sum equal to the cost thereof, such sum to be determined by the Director whose determination shall be final and shall be binding upon the Grantee.

- (iii) The Government shall have no liability in respect of any loss, damage, nuisance or disturbance whatsoever caused to or suffered by the Grantee or any other person whether arising out of or incidental to the fulfilment of the Grantee's obligations under sub-clause (i) above or the exercise of the rights by the Government under sub-clause (ii) above or otherwise, and no claim for compensation shall be made against the Government, the Director, his officers, agents, contractors, licensees, workmen or any other person or persons authorised by him or them by the Grantee in respect of any such loss, damage, nuisance or disturbance.

- (iv) For the purpose only of carrying out the necessary works specified in sub-clause (i) above, the Grantee shall on the 17<sup>th</sup> day of April, 2008 be granted possession of the Yellow Areas. The Yellow Areas or any part or parts thereof as the Director shall specify shall be redelivered to the Government on demand without any payment or compensation provided always that the Government shall not be compelled to take back possession of the Yellow Areas or any part thereof.

- (v) The Grantee shall not without the prior written consent of the Director use the Yellow Areas or any part or parts thereof for the purpose of storage or for the erection of any temporary structure or for any purposes other than the carrying out of the works under sub-clause (i) above.

- (vi) (I) The Grantee shall at all reasonable times while they are in possession of the Yellow Areas or any part or parts thereof:

- (A) permit the Director, his officers, agents, contractors and any other person or persons authorized by him, the right of ingress, egress and regress to, from and through the lot and the Yellow Areas for the purpose of inspecting, checking and supervising any works to be carried out in compliance with sub-clause (i) above and the carrying out, inspecting, checking and supervising of the works under sub-clause (ii) above and any other works which the Director may consider necessary in the Yellow Areas;

- (B) permit the Government and the relevant public utility companies authorized by the Government the right of ingress, egress

and regress to, from and through the lot and the Yellow Areas as the Government or the relevant public utility companies may require for the purpose of any works to be carried out in, upon or under the Yellow Areas or any adjoining land including but not limited to the laying and subsequent maintenance of all pipes, wire, conduits, cable-ducts and other conducting media and ancillary equipment necessary for the provision of telephone, electricity, gas (if any) and other services intended to serve the lot or any adjoining or neighbouring land or premises. The Grantee shall co-operate fully with the Government and also with the relevant public utility companies duly authorized by the Government on all matters relating to any of the aforesaid works to be carried out within the Yellow Areas; and

- (C) permit the officers of the Water Authority and such other persons as may be authorized by them the right of ingress, egress and regress to, from and through the lot and the Yellow Areas as the officers of the Water Authority or such authorized persons may require for the purpose of carrying out any works in relation to the operation, maintenance, repairing replacement and alteration of any other waterworks installations within the Yellow Areas;

- (II) The Government shall have no liability in respect of any loss, damage, nuisance or disturbance whatsoever caused to or suffered by the Grantee or any other person arising out of or incidental to the exercise of the rights by the Government, its officers, agents, contractors, and other persons or public utility companies duly authorized under the provisions of Land Grant.

- F. Rights of ways from the adjacent roads to the lot on lines to be approved by the Director will be given. The Grantee shall construct roads over and along such rights of way at such times and manner as the Director shall direct and shall uphold, maintain and repair such roads to the satisfaction of the Director. Any alteration of the Government roads to which the rights-of-way are given absorbing a portion of such pieces of ground or affecting the gradient thereof shall not give rise to any claim by the Grantee who shall carry out all consequent alterations to such roads or paths constructed by the Grantee.

- G. The Grantee shall at his own expense maintain the recreational facilities and facilities ancillary thereto within the lot which are exempted from the gross floor area calculation pursuant to the provisions of the Land Grant ("the Exempted Facilities") in good

# 16 SUMMARY OF LAND GRANT

## 批地文件的摘要

and substantial repair and condition and shall operate the Exempted Facilities to the satisfaction of the Director. The Exempted Facilities shall only be used by the residents of the Development and their bona fide visitors and by no other persons.

- H. The Grantee shall at his own expense landscape and plant with trees and shrubs any portion of the lot and podium (if any) not built upon and thereafter maintain and keep the same in a safe, clean, neat, tidy and healthy condition all to the satisfaction of the Director.
- I. Spaces shall be provided within the lot to the satisfaction of the Director for the parking of motor vehicles licensed under the Road Traffic Ordinance, any regulations made thereunder and any amending legislation and belonging to the residents of the residential units in the building or buildings erected or to be erected on the lot and their bona fide guests, visitors or invitees according to a prescribed rate (“the Residential Parking Spaces”).
- J. (a) The Grantee shall at his own expense deposit with the Director plan(s) approved by the Director indicating the layout of the Residential Parking Spaces to be provided within the lot in accordance with the provisions of the Land Grant, or a copy of such plan(s) certified by an authorized person (“the Car Park Layout Plans”).
- (b) The Grantee shall maintain the Residential Parking Spaces and other spaces, including but not restricted to the lifts, landings and manoeuvring and circulation areas in accordance with the Car Park Layout Plans and shall not alter the layout except with the prior written consent of the Director.
- K. (a) Where there is or has been any cutting away, removal or setting back of any land, or any building-up or filling-in or any slope treatment works of any kind whatsoever, whether with or without the prior written consent of the Director, either within the lot or on any Government land, which is or was done for the purpose of or in connection with the formation, levelling or development of the lot or any part thereof or any other works required to be done by the Grantee under the provisions of the Land Grant, or for any other purpose, the Grantee shall at his own expense carry out and construct such slope treatment works, retaining walls or other support, protection, drainage or ancillary or other works as shall or may then or at any time thereafter be necessary to protect and support such land within the lot and also any adjacent or adjoining Government or leased land and to obviate and prevent any falling away, landslip or subsidence

occurring thereafter. The Grantee shall at all times during the term of the Land Grant maintain at his own expense the said land, slope treatment works, retaining walls or other support, protection, drainage or ancillary or other works in good and substantial repair and condition to the satisfaction of the Director.

- (b) In the event that as a result of or arising out of any formation, levelling, development or other works done by the Grantee or owing to any other reason, any falling away, landslip or subsidence occurs at any time, whether in or from any land, within the lot or from any adjacent or adjoining Government or leased land, the Grantee shall at his own expense reinstate and make good the same to the satisfaction of the Director and shall indemnify the Government its agents and contractors from and against all costs, charges, damages, demands and claims whatsoever which shall or may be made, suffered or incurred through or by reason of such falling away, landslip or subsidence.
- (c) In addition to any other rights or remedies provided in the Land Grant, the Director shall be entitled by notice in writing to call upon the Grantee to carry out, construct and maintain the said land, slope treatment works, retaining walls or other support, protection and drainage or ancillary or other works or to reinstate and make good any falling away, landslip or subsidence, and if the Grantee shall neglect or fail to comply with the notice to the satisfaction of the Director within the period specified therein, the Director may forthwith execute and carry out any necessary works and the Grantee shall on demand repay to the Government the cost thereof, together with any administrative or professional fees and charges.
- L. Where prestressed ground anchors have been installed, upon development or redevelopment of the lot or any part thereof, the Grantee shall at his own expense carry out regular maintenance and regular monitoring of the prestressed ground anchors throughout their service life to the satisfaction of the Director and shall supply to the Director such reports and information on all such monitoring works as the Director may from time to time in his absolute discretion require. If the Grantee shall neglect or fail to carry out the required monitoring works, the Director may forthwith execute and carry out the monitoring works and the Grantee shall on demand repay to the Government the cost thereof.
- M. (a) In the event of earth, spoil, debris, construction waste or building materials (“the waste”) from the lot, or from other areas affected by any development of the lot being eroded, washed

down or dumped onto public lanes or roads or into or onto road-culverts, foreshore or seabed, sewers, storm-water drains or nullahs or other Government properties (“the Government properties”), the Grantee shall at his own expense remove the waste from and make good any damage done to the Government properties. The Grantee shall indemnify and keep indemnified the Government from and against all liabilities, claims, losses, damages, expenses, charges, costs, demands, actions and proceedings whatsoever and howsoever arising whether directly or indirectly out of or in connection with any damage or nuisance to private property caused by such erosion, washing down or dumping.

- (b) The Director may (but is not obliged to), at the request of the Grantee, remove the waste from and make good any damage done to the Government properties and the Grantee shall pay to the Government on demand the cost thereof.
- N. (a) The Grantee shall construct and maintain at his own expense and to the satisfaction of the Director such drains and channels, whether within the boundaries of the lot or on Government land, as the Director may consider necessary to intercept and convey into the nearest stream-course, catchpit, channel or Government storm-water drain all storm-water or rain-water falling or flowing on to the lot, and the Grantee shall be solely liable for and shall indemnify and keep indemnified the Government and its officers from and against all actions, claims and demands arising out of any damage or nuisance caused by such storm-water or rain-water.
- (b) The works of connecting any drains and sewers from the lot to the Government storm-water drains and sewers, when laid and commissioned, may be carried out by the Director who shall not be liable to the Grantee for any loss or damage thereby occasioned and the Grantee shall pay to the Government on demand the cost of such connection works. Alternatively, the said connection works may be carried out by the Grantee at his own expense to the satisfaction of the Director and in such case any section of the said connection works which is constructed within Government land shall be maintained by the Grantee at his own cost and upon demand be handed over by the Grantee to the Government for future maintenance thereof at the expense of the Government and the Grantee shall pay to the Government on demand the cost of the technical audit in respect of the said connection works. The Director may, upon failure of the Grantee to maintain any section of the said connection

works which is constructed within Government land, carry out such maintenance works as he considers necessary and the Grantee shall pay to the Government on demand the cost of such works.

### 6. Lease conditions that are onerous to a purchaser:

- A. No tree growing on the lot or adjacent thereto shall be interfered with without the prior written consent of the Director who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.
- B. (a) The Grantee acknowledges that the lot is the subject of an Assignment dated the 30<sup>th</sup> day of December, 1937 and registered in the Land Registry by Memorial No. UB156348. The Grantee may employ professional land surveyors in private practice to carry out a boundary survey. The Government shall have no liability in respect of any loss, damage, etc. caused to or suffered by the Grantee. The Grantee shall indemnify and shall keep indemnified the Government from and against all liabilities, claims, etc. arising whether directly or indirectly out of or in connection with such encroachment or this provision.
- (b) In the event that the Grantee are found to have encroached upon and to be occupying Government land the Director may either require the Grantee to demolish any building or part of any building standing on such Government land, to reinstate such Government land to his satisfaction and deliver vacant possession of the same to the Government or pay to the Government such sum as the Director shall determine as the premium in respect of such Government land. If the Grantee fails to demolish any building as required by the Director, the Director may demolish such building and the Grantee shall pay on demand to the Government the amount certified by the Director as the cost of such demolition. In the event that the Director exercises his discretion to require the payment of premium as aforesaid, upon the payment of such premium the area of Government land encroached upon shall be deemed in all respects to be part of the lot and shall be included in the lease of the lot when issued.
- C. The Residential Parking Spaces shall not be used for any purpose other than for the parking of motor vehicles licensed under the Road Traffic Ordinance, any regulations made thereunder and any amending legislation and in particular the said spaces shall not be used for the storage, display or exhibiting of motor vehicles for sale or otherwise.

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## 批地文件的摘要

- D. The Residential Parking Spaces shall not be
- (a) assigned except:
    - (i) together with a residential unit in the Development; or
    - (ii) to a person who is already the owner of a residential unit in the Development; or
  - (b) underlet except to residents of the residential units in the Development

Provided that in any event not more than three in number of the total of the Residential Parking Spaces shall be assigned to the owner or underlet to the resident of any one residential unit in the Development.

- E. The Grantee shall take or cause to be taken all proper and adequate care, skill and precautions at all times, and particularly when carrying out construction, maintenance, renewal or repair work (“the Works”), to avoid causing any damage, disturbance or obstruction to any Government or other existing drain, waterway or watercourse, water main, road, footpath, street furniture, sewer, nullah, pipe, cable, wire, utility service or any other works or installations being or running upon, over, under or adjacent to the lot or any part thereof or the Yellow Areas (“the Services”). The Grantee shall prior to carrying out any of the Works make or cause to be made such proper search and enquiry as may be necessary to ascertain the present position and levels of the Services, and shall submit his proposals for dealing with any of the Services which may be affected by the Works in writing to the Director for his approval in all respects, and shall not carry out any work whatsoever until the Director shall have given his written approval to the Works and to such aforesaid proposals. The Grantee shall comply with and at his own expense meet any requirements which may be imposed by the Director in respect of the Services in granting the aforesaid approval, including the cost of any necessary diversion, relaying or reinstatement. The Grantee shall at his own expense in all respects repair, make good and reinstate to the satisfaction of the Director any damage, disturbance or obstruction caused to the lot or any part thereof or the Yellow Areas or both the lot or any part thereof and the Yellow Areas or any of the Services in any manner arising out of the Works (except for nullah sewer, storm-water drain or water main, the making good of which shall be carried out by the Director, unless the Director elects otherwise, and the Grantee shall pay to the Government on demand the cost of such works). If the Grantee fails to carry out any such necessary diversion, relaying, repairing, making good and reinstatement of the lot, the Yellow Areas or any part or parts of any one or more of them or any of

the Services to the satisfaction of the Director, the Director may carry out any such diversion, relaying, repairing, making good or reinstatement as he considers necessary and the Grantee shall pay to the Government on demand the cost of such works.

- F. Should the Grantee fail or neglect to observe or comply with any of the conditions of the Land Grant the Government shall be entitled to either to enforce the sale or to re-sale the property, or at the option of the Government to re-enter and resume the property. In case of a re-sale the increase, if any, of the premium or purchase money shall be retained by the Government and the deficiency, if any, and all costs and expenses shall be made good by the Grantee and be recoverable as liquidated damage.
- G. There is no limit on the number of houses on any given area, the total number of houses on all various lots including but not limited to the Rural Building Lot No.240 of which the lot forms part, shall however not be less than 15.
- H. The Grantee shall pay the cost of removing any Chinese graves within the lot.
- I. The Grantee shall on demand pay the cost of removing any water main cable, telegraph or telephone line, sewer or culvert, which the Director may consider necessary to have removed.
- J. The Grantee to make their own arrangements with regard to water supply.
- K. The Grantee to pay to the Government on demand of a prescribed fee for each boundary stone required to define the lot.
- L. See 5 above.

Note: The expression “Grantee” as mentioned in this section means the purchaser under the Land Grant and where the context so admits or requires includes his executors, administrators and assigns and in case of a corporation its successors and assigns.

# 16 SUMMARY OF LAND GRANT

## 批地文件的摘要

### 1. 發展項目所位於的土地的地段編號：

赤柱灘道六號(以下簡稱為「發展項目」)建立在鄉郊建屋地段240號A分段。

### 2. 有關租契規定的年期：

年期為75年，由1924年1月12日起計，有續期權續批75年。根據《政府租契條例》(第40章)，續期權已視作被行使及新政府租契亦被視作已批出。

### 3. 適用於該土地的用途限制：

- A. 該地段或其任何部分或已或將建立於該地段之任何建築物或其任何部分除作私人住宅用途外，概不可作任何其他用途。
- B. 該地段內不得搭建或建造任何墳墓或骨灰龕，亦不可安葬或放置任何人類遺體或動物遺骸，不論置於陶泥金塔或骨灰盅或以其他方式安葬或放置等亦然。

### 4. 按規定須興建並提供予政府或供公眾使用的設施：

- A. 根據批地文件第(ac)條的規定，承授人須自費鋪設、塑造、提供、建成，對其作環境美化，並維護、管理、保養及維修夾附在批地文件的"PLAN A"並以黃色顯示的地方(「黃色區域」)，在所有方面達致地政總署署(「署長」)滿意的程度。

### 5. 有關承授人在該土地內外鋪設、塑造或作環境美化的任何範圍，或興建或維持任何構築物或設施的責任：

- A. 承授人須遵守批地文件及所有適用於香港特別行政區的有關法律的規定，建成一幢或多幢樓宇以發展該地段，有關樓宇須於2012年12月31日或之前完成及適宜居住。
- B. 承授人須發展整個地盤，使署長完全滿意，並須在指定時間內將顯示擬發展方法、擬建設道路及所有建築物地盤平整水平的全面設計圖交給署長批准。
- C. 承授人須於在整個租賃期內：(i)根據已獲批的設計、規劃或高度及任何獲批准的建築圖則，在沒有變更或修訂獲批准的建築圖則的情況下保養所有樓宇；及(ii)保養所有豎立於該地段上的樓宇在良好修葺狀況下。
- D. 在租賃期內，一旦在任何時間清拆豎立於該地段上或其部份的任何樓宇時，承授人須用同類型及不少於樓面總面積的穩固及狀況良好的樓宇作代替，或以署長核准的樓宇類型及價值的樓宇作代替。倘如上所述清拆樓宇，承授人須在清拆一個

曆月內向署長申請同意在該地段進行重建工程。承授人接獲同意書後，必須在三個曆月內展開必要的重建工程，並於署長指定的期限內以署長滿意的方式完成重建。

### E. (i) 承授人須自費，在各方面使署長滿意：

- (I) 按署長批准的方式、材料、標準、水平、定線及設計，鋪設、塑造、提供、建成黃色區域(包括提供和建成署長全權酌情要求的暗渠、高架橋、下水道、排水渠或其他構築物)，並對其作環境美化；及
- (II) 維護、管理、保養及維修黃色區域以及其上、其內或其下的一切，使其保持良好修葺狀況，直至整個黃色區域的管有權按照批地文件條款交還政府為止

當黃色區域的部分或多部分已根據批地文件條款交還政府，則承授人根據本分條款維護、管理、保養和維修黃色區域的義務，就已交還政府的部分或多部分而言即告終止，但不影響就其他部分的義務。

- (ii) 如承授人未能履行其上述分條款(i)的義務(署長的決定為最終並對承授人具有約束力)，政府可進行必要的工程，費用由承授人負責，承授人須應要求向政府支付相等於該費用的金額，該金額由署長決定，其決定為最終並對承授人有約束力。

- (iii) 政府毋須就承授人履行其上述分條款(i)的義務或政府行使上述分條款(ii)的權利或其他原因所引起或附帶引起對承授人或任何其他人士造成或令其蒙受的任何損失、損害、滋擾或騷擾承擔責任，而且承授人不得就任何該等損失、損害、滋擾或騷擾向政府、署長及其人員、代理、承辦商、持牌人、工人或獲他們授權的任何人提出索償。

- (iv) 僅就進行上述分條款(i)指明的工程的目的而言，承授人須於2008年4月17日獲授予黃色區域的管有權。黃色區域或其部分或多部分須應要求交還給政府，而政府無需支付任何款項或補償，但政府任何時候不得被迫收回黃色區域或其任何部分的管有權。

- (v) 未經署長事先書面同意，承授人不得將黃色區域或其任何部分或多個部分用於貯存或搭建任何臨時構築物，或用於進行上述分條款(i)所述工程以外的任何用途。

- (vi) (I) 承授人須於其管有黃色區域或其任何部分或多部分的所有合理時間：

- (A) 准許署長及其人員、代理、承辦商和獲其授權的任何人等有權通行、進出、往返及行經該地段及黃色區域，以便視察、檢查及監督遵照上述分條款(i)規定進行的任何工程，以及進行、視察、檢查及監督上述分條款(ii)規定的工程及署長認為於黃色區域任何其他必要的工程；

- (B) 在政府或獲其授權的相關公用事業公司要求時，准許其有權通行、進出、往返及行經該地段及黃色區域，以便在黃色區域或任何毗連土地之內、之上或之下進行任何工程，包括但不限於鋪設及其後保養所有喉管、電線、管道、電纜槽及擬為該地段或任何毗連或毗鄰土地或場所提供電話、電力、煤氣(如有)及其他服務設施所需的其他傳導媒介及附帶設備。承授人須就以上在黃色區域內進行的任何工程的所有相關事宜，與政府及獲其妥為授權的相關公用事業公司充分合作；及

- (C) 在水務監督的人員及該等獲其授權的其他人等要求時，准許其有權通行、進出、往返及行經該地段及黃色區域，以便在黃色區域內進行任何有關任何其他水務裝置的運作、保養、維修、更換及改動工程；

- (II) 政府毋須就政府、其人員、代理、承辦商和根據批地文件條款獲妥為授權的任何人等或公用事業公司行使其權利所引起或附帶引起對承授人或任何人士造成或令其蒙受的任何損失、損害、滋擾或騷擾承擔責任。

- F. 從鄰近道路到該地段的通行權，將根據經由署長批核的線路授予。承授人須按照署長指示的時間和方式在通過和沿著此等通行權興建道路，並應保護、保養和維修此等道路，以達至署長滿意的程度。任何獲授予通行權的政府道路的改動，如納入了部分該土地或影響該土地的坡度，將不會引致承授人擁有任何申索的權利，承授人須對其建造的道路或小路進行所有相應的改動。

- G. 承授人須自費保養該地段內按批地文件條款獲豁免計算總樓面面積的康樂設施及附屬設施(「獲豁免設施」)至良好和修繕妥當的狀態，並須運作獲豁免設施致使署長滿意。獲豁免設施只可供發展項目的住戶及其真正訪客使用，不得被其他人士使用。

- H. 承授人須自費在該地段任何部份及平台(如有)的非建築用地作環境美化及種植樹木及矮樹，及其

後對其保養、維持在安全、清潔、整齊、整潔及健康狀況以達致署長滿意程度。

- I. 須於該地段內按指定比率提供若干車位，以供按《道路交通條例》、其附屬規例及任何修訂法例獲發牌並屬於在該地段上興建或將興建的一棟或多棟建築物內住宅單位的住戶及其真正的賓客、訪客或受邀者之汽車停泊(「住客車位」)，致使署長滿意。

- J. (a) 承授人須自費向署長存放並向運輸署署長提交一份或多份經運輸署署長批准、顯示住客車位之布局的圖則，或經授權人士核證的該份圖則的副本(下稱「停車場布局圖」)。

- (b) 承授人須根據停車場布局圖維持住客車位及其他地方，包括但不限於電梯、地台、回旋空間及通道地。並不得未經署長事先書面同意修改車位的布局設計。

- K. (a) 如因或與塑造、平整或發展該地段相關或承授人於批地文件條款下須進行的其他工程或為任何其他目的而在該地段內或任何政府土地進行任何土地的削去、移除或後移或任何形式的興建或填平或斜坡處理工程，不論是否得到署長的事先書面同意，承授人須自費進行及興建斜坡處理工程、護土牆或其它支撐物、保護物、排水或輔助或其它必須工程以保護及支持該地段的土地及任何鄰近或相鄰的政府或已批租土地，並防止任何泥土傾瀉、滑坡或地陷發生。承授人須在批地文件批地期內不時保養該土地、斜坡處理工程、護土牆或其他支撐物、保護物、排水或輔助或其他工程修葺至良好堅固的狀況，以達致署長認為滿意的程度。

- (b) 若因或源於承授人展開開拓、平整、發展或其它工程或基於其它原因，而引發(無論在該地段內或任何鄰近或相鄰的政府或已批租土地)任何山泥傾瀉、滑坡或地陷，承授人須自費恢復及修復該部份，以達致署長滿意的程度。承授人應對政府、其代理人及承辦商就有關山泥傾瀉、滑坡或地陷引致的所有訴費、收費、損害賠償、要求及申索作出彌償。

- (c) 除批地文件中規定的任何其他權利或補償外，署長有權書面要求承授人進行、建造及保養上述土地、斜坡整理工程、擋土牆、或其他支撐、防護措施和排水系統或附屬或其他工程，或就任何泥土剝落、山泥傾瀉或土地下陷進行修葺使之恢復原狀，且如承授人忽略或未能在指明期限內遵行該通知致使署長滿意，署長可立即執行和進行任何有需要

# 16 SUMMARY OF LAND GRANT

## 批地文件的摘要

的工程，而承授人須應要求向政府償還該工程的費用並連同任何行政及專業收費及開支。

- L. 若於發展或重新發展該地段或其任何部分時曾安裝預應力地錨，承授人須於該等預應力地錨的使用期限內自費進行定期保養及定期監測致使署長滿意，並且在署長不時全權酌情要求時提交上述監測的報告及資料。如承授人忽略或未能進行所須的監測工程，署長可立即執行和進行所須的工程，而承授人須應要求向政府歸還該工程的費用。
- M. (a) 倘若該地段或其他受開發該地段所影響的區域之泥土、廢土、瓦礫、建築廢料或建材（「該等廢料」）遭侵蝕、沖洗或傾倒在公共巷徑或道路上，或路旁暗渠、前濱或海牀、污水渠、雨水渠或溝渠或其他政府物業（「該等政府物業」），承授人須自費清理該等廢料並修葺該等廢料對該等政府物業造成的損壞。承授人須就直接或間接因上述侵蝕、沖洗或傾倒對私人物業造成的任何損壞或滋擾而起或與之有關之任何形式之責任、申索、損失、損害賠償、費用、開支、成本、索求、法律行動或其他程序彌償政府及使其維持獲彌償。
- (b) 署長可以（惟沒有義務）應承授人要求清理該等廢料並修葺該等廢料對該等政府物業造成的損壞，而承授人須應要求向政府支付有關費用。
- N. (a) 承授人須自費及以署長滿意的方式建造及保養不論在該地段範圍內或在政府土地上按署長認為需要以截流及排送所有落在該地段上或在該地段上流動的暴雨或雨水至最近的水道、集水井、溝渠或政府雨水渠的排水渠及溝渠。承授人須就因上述暴雨或雨水引致的訴訟、申索和索求承擔全部責任並向政府及其官員作出彌償及使其維持獲彌償。
- (b) 署長可進行連接該地段的排水渠及溝渠至投入使用的政府雨水渠及污水渠的工程，並不須為此造成的任何損失或損害向承授人負責，承授人須按政府要求支付該連接工程費用。或者，該連接工程可由承授人自費進行以達致署長滿意程度，在該情況下，在政府土地上建造的連接工程的任何分段須由承授人自費保養，並當政府要求交還時由政府自行作出保養，而承授人須按政府要求支付有關連接工程技術審核的費用。如承授人未有保養政府土地上建造的上述連接工程，署長可以自行進行其認為必需的該等保養工程，而承授人須應要求向政府支付有關費用。

### 6. 對買方造成負擔的租用條件

- A. 未經署長事先書面批准，不得移除或干擾在該地段或其鄰近生長的樹木。署長可批准同意時附加其認為適合的條款例如移植、補償綠化或改種。
- B. (a) 承授人確認，該地段受制於日期為1937年12月30日之轉讓契，該轉讓契並已於土地註冊處以註冊摘要第UB156348號註冊。承授人可聘請私人執業的專業土地測量師進行邊界測量。對於承授人所引致或蒙受的任何損失、損害等，政府概不承擔任何責任。承授人須就該等侵佔或本條款直接或間接引致或有關的一切法律責任、索償等向政府作出彌償，並及使其維持獲彌償。
- (b) 如發現承授人侵佔及佔用政府土地，署長可要求承授人拆卸在該政府土地上的任何建築物或任何建築物的一部分，將該政府土地恢復原狀，以達至署長滿意的程度，並將該土地在空置管有下交還政府，或向政府支付署長所釐定的該政府土地的補地價款項。倘承授人未有按署長要求拆卸任何建築物，署長可將該建築物拆卸，而承授人須按政府要求支付經署長認證為該拆卸費用之款項。倘署長行使酌情權要求承授人繳付上述補地價，則在承授人繳付該補地價後，被侵佔之政府土地面積在各方面均須視為該地段之一部分，並須在發出該地段租契時包括在內。
- C. 住客車位不得用作停泊按《道路交通條例》、其附屬規例及修訂法例獲發牌之汽車之外的其他用途，特別是不可存放、展示或展覽銷售車輛或其他。
- D. 住客車位不得
- (a) 轉讓，除非：
- (i) 連同發展項目的住宅單位轉讓；或
- (ii) 轉讓予發展項目的住宅單位之擁有人；或
- (b) 出租，除非予發展項目的住宅單位之住客
- 但於任何情況下，轉讓予任何一個發展項目住宅單位的擁有人或出租予任何一個發展項目住宅單位的住客的住客車位總數不得多於3個。
- E. 承授人須於任何時候，特別是於進行建造、保養、更新或維修工程（「該等工程」）時，採取或安排採取恰當及足夠的謹慎、技巧及預防措施，以免使置於或行經該地段或其任何部分或黃色區域以上、上面、下面或相鄰的任何政府或其他現存的排水渠、水道或河道、主水管、道路、行人

- 徑、街道設施、污水渠、溝渠、管道、電纜、電線、公用服務或任何其他的工程或裝置（「該等服務」）遭受損壞、干擾或阻礙。承授人須於進行任何該等工程前進行或安排進行所需的適當搜查及勘探，以確定該等服務之位置及高度，及須就如何處理或會受該等工程影響之該等服務向署長提交書面建議書供其就各方面批核，且不得於署長就該等工程及上述建議書發出書面批准前進行任何工程。承授人須遵守及自費達成署長於發出上述批准時可就該等服務施加的要求，包括任何必要的改道、重鋪或恢復原狀的成本。承授人須自費在各方面維修、修葺使恢復原狀所有由該等工程以任何方式引起的對該地段、其任何部分、黃色區域或該地段任何部分及黃色區域或任何該等服務造成的損壞、干擾或阻礙，致使署長滿意（溝渠、污水渠、雨水渠或主水管除外，其之修葺須由署長進行（除非署長另有決定），且承授人須應政府要求向其支付上述工程之費用）。若承授人未能對該地段、其任何部分、黃色區域或該地段任何部分及黃色區域或任何該等服務進行任何所需之改道、重鋪、維修、修葺及使之恢復原狀致使署長滿意，署長可進行其認為有需要之改道、重鋪、維修、修葺及使之恢復原狀，且承授人須應政府要求向其支付上述工程之費用。
- F. 如果承授人沒有或忽略遵守批地文件的任何條件，政府有權強制出售或重新出售該物業，或由政府選擇重新管有和收回該物業。在重新出售的情況下，地價或購買金額的增加（如有）應由政府保留，不足之數（如有）及所有成本和費用應由承授人補償，並可作為算定損害賠償追討。
- G. 在任何地方上的房屋數量不限，但在各地段上（包括但不限於該地段為一部份的鄉郊建屋地段240號）總房屋數量為不少於15間。
- H. 承授人須負責繳付移除該地段內任何華人墓穴的費用。
- I. 署長可考慮有需要時移除任何主要水電纜、電報或電話線、污水渠或暗渠，並要求承授人支付有關費用。
- J. 該地段承授人自行安排供水事宜。
- K. 承授人須按部就每塊界定該地段所需的界石向政府支付指定費用。
- L. 見上文第5段。

備註：本節中提述「承授人」一詞指根據批地文件中的買方和如意允許或要求包括其遺囑執行人、遺產管理人、承讓人及（如為法團）其繼承人和承讓人。

# 17 INFORMATION ON PUBLIC FACILITIES AND PUBLIC OPEN SPACES

## 公共設施及公眾休憩用地的資料

### A. A description of any facilities that are required under the land grant to be constructed and provided for the Government, or for public use

#### Yellow Areas

- The Owners shall at their own expense and in all respects to the satisfaction of the Director of Lands (the "Director") lay, form, provide, construct and landscape the areas (the "Yellow Areas") shown coloured yellow on the plan marked "PLAN A" annexed to the land grant in accordance with Condition No. (ac) of the land grant.
- The Owners shall at their own expense and in all respects to the satisfaction of the Director uphold, manage, maintain and repair the Yellow Areas until redelivery thereof to the Government on demand provided always that the Government shall not be compelled to take back possession of the Yellow Areas.
- The Owners shall not except with the Director's prior written consent use the Yellow Areas for any purposes other than the carrying out of the works under Condition No. (ac)(i) of the land grant.
- Free access to the Government, public utilities companies or other persons authorized by the Government over and along the Lot and the Yellow Areas shall be allowed while the Owners are in possession of the Yellow Areas.

### B. A description of any facilities that are required under the land grant to be managed, operated or maintained for public use at the expense of the owners of the residential properties in the Development

Not Applicable.

### C. The size of any open space that is required under the land grant to be managed, operated or maintained for public use at the expense of the owners of the residential properties in the Development

Not Applicable.

### D. A description of any part of the land (on which the Development is situated) that is dedicated to the public for the purposes of regulation 22(1) of the Building (Planning) Regulations (Cap.123 sub. Leg. F)

Not Applicable.

**In relation to any of those facilities and open spaces, and those parts of the land, mentioned in Parts A, B, C and D above that are for public use, the general public has the right to use the facilities or open spaces, or the parts of the land, in accordance with the land grant or the deed of dedication (as the case may be).**

**In relation to any of those facilities and open spaces mentioned in Part B or C above, the facilities or open spaces are required to be managed, operated or maintained at the expense of the owners of the residential properties in the Development, and those owners are required to meet a proportion of the expense of managing, operating or maintaining the facilities or open spaces through the management expenses apportioned to the residential properties concerned.**

**The provisions of the land grant and the deed of dedication, and of every deed of mutual covenant in respect of the specified residential property, that concern those facilities and open spaces, and those parts of the land, mentioned in Parts A, B, C and D**

- Provisions of land grant

"(q) The purchasers shall take or cause to be taken all proper and adequate care, skill and precautions at all times, and particularly when carrying out construction, maintenance, renewal or repair work (hereinafter referred to as "the Works"), to avoid causing any damage, disturbance or obstruction to any Government or other existing drain, waterway or watercourse, water main, road, footpath, street furniture, sewer, nullah, pipe, cable, wire, utility service or any other works or installations being or running upon, over, under or adjacent to the lot or any part thereof or the Yellow Areas referred to in Condition No. (ac)(i)(I) hereof or both the lot or any part thereof and the Yellow Areas (hereinafter collectively referred to as "the Services"). The purchasers shall prior to carrying out any of the Works make or cause to be made such proper search and enquiry as may be necessary to ascertain the present position and levels of the Services, and shall submit their proposals for dealing with any of the Services which may be affected by the Works in writing to the Director for his approval in all respects, and shall not carry out any work whatsoever until the Director shall have given his written approval to the Works and to such aforesaid proposals. The purchasers shall comply with and at their expense meet any requirements which may be imposed by the Director in respect of the Services in granting the aforesaid approval, including the cost of any necessary

diversion, relaying or reinstatement. The purchasers shall at their own expense in all respects repair, make good and reinstate to the satisfaction of the Director any damage, disturbance or obstruction caused to the lot or any part thereof or the Yellow Areas or both the lot or any part thereof and the Yellow Areas or any of the Services in any manner arising out of the Works (except for nullah, sewer, stormwater drain or water main, the making good of which shall be carried out by the Director, unless the Director elects otherwise, and the purchasers shall pay to the Government on demand the cost of such works). If the purchasers fail to carry out any such necessary diversion, relaying, repairing, making good and reinstatement of the lot or any part thereof or the Yellow Areas or both the lot or any part thereof and the Yellow Areas or of any of the Services to the satisfaction of the Director, the Director may carry out any such diversion, relaying, repairing, making good or reinstatement as he considers necessary and the purchasers shall pay to the Government on demand the cost of such works."

"(ac) (i) The purchasers shall at their own expense and in all respects to the satisfaction of the Director:-

- (I) lay, form, provide, construct and landscape in such manner with such materials and to such standards, levels, alignment and design as the Director shall approve (including the provision and construction of such culverts, viaducts, sewers, drains or such other structures as the Director in his sole discretion may require) the areas shown coloured yellow on the plan marked "PLAN A" annexed hereto (hereinafter referred to as "the Yellow Areas"); and
- (II) uphold, manage, maintain and repair the Yellow Areas and everything thereon, therein or thereunder in good substantial repair and condition until such time as possession of the whole of the Yellow Areas has been redelivered to the Government in accordance with sub-clause (iv) of this Condition.

Provided that in the event where part or parts of the Yellow Areas shall have been redelivered to the Government in accordance with sub-clause (iv) of this Condition, the obligations of the purchasers to uphold, manage, maintain and repair the Yellow Areas under this sub-clause (i) shall cease in so far as the part or parts which have been redelivered to the Government are concerned but not further or otherwise.

- (ii) In the event of the non-fulfilment of the purchasers' obligations under sub-clause (i) of this Condition (as to which the Director's decision shall be final and binding upon the purchasers),

the Government may carry out the necessary works at the cost of the purchasers who shall pay to the Government on demand a sum equal to the cost thereof, such sum to be determined by the Director whose determination shall be final and shall be binding upon the purchasers.

- (iii) The Government shall have no liability in respect of any loss, damage, nuisance or disturbance whatsoever caused to or suffered by the purchasers or any other person whether arising out of or incidental to the fulfilment of the purchasers' obligations under sub-clause (i) of this Condition or the exercise of the rights by the Government under sub-clause (ii) of this Condition or otherwise, and no claim for compensation shall be made against the Government, the Director, his officers, agents, contractors, licensees, workmen or any other person or persons authorised by him or them by the purchasers in respect of any such loss, damage, nuisance or disturbance.

- (iv) For the purpose only of carrying out the necessary works specified in sub-clause (i) of this Condition, the purchasers shall on the 17<sup>th</sup> day of April, 2008 be granted possession of the Yellow Areas. The Yellow Areas or any part or parts thereof as the Director shall specify shall be redelivered to the Government on demand without any payment or compensation provided always that the Government shall not be compelled to take back possession of the Yellow Areas or any part thereof.

- (v) The purchasers shall not without the prior written consent of the Director use the Yellow Areas or any part or parts thereof for the purpose of storage or for the erection of any temporary structure or for any purposes other than the carrying out of the works under sub-clause (i) of this Condition.

- (vi) (I) The purchasers shall at all reasonable times while they are possession of the Yellow Areas or any part or parts thereof:

- (A) permit the Director, his officers, agents, contractors and any other person or persons authorized by him, the right of ingress, egress and regress to, from and through the lot and the Yellow Areas for the purpose of inspecting, checking and supervising any works to be carried out in compliance with sub-clause (i) of this Condition and the carrying out, inspecting, checking and supervising of the works under sub-clause (ii) of this Condition and any other works which the Director may consider necessary in the Yellow Areas;

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(B) permit the Government and the relevant public utility companies authorized by the Government the right of ingress, egress and regress to, from and through the lot and the Yellow Areas as the Government or the relevant public utility companies may require for the purpose of any works to be carried out in, upon or under the Yellow Areas or any adjoining land including but not limited to the laying and subsequent maintenance of all pipes, wire, conduits, cable-ducts and other conducting media and ancillary equipment necessary for the provision of telephone, electricity, gas (if any) and other services intended to serve the lot or any adjoining or neighbouring land or premises. The purchasers shall co-operate fully with the Government and also with the relevant public utility companies duly authorized by the Government on all matters relating to any of the aforesaid works to be carried out within the Yellow Areas; and

(C) permit the officers of the Water Authority and such other persons as may be authorized by them the right of ingress, egress and regress to, from and through the lot and the Yellow Areas as the officers of the Water Authority or such authorized persons may require for the purpose of carrying out any works in relation to the operation, maintenance, repairing replacement and alteration of any other waterworks installations within the Yellow Areas;

(II) The Government shall have no liability in respect of any loss, damage, nuisance or disturbance whatsoever caused to or suffered by the purchasers or any other person arising out of or incidental to the exercise of the rights by the Government, its officers, agents, contractors, and other persons or public utility companies duly authorized under sub-clause (vi)(I) of this Condition.”

- Provisions of deed of mutual covenant

### Recital (1)

“Yellow Areas”

means such areas shown coloured yellow on the plan marked Plan A annexed to the Modification Letter and referred to in Condition No. (ac)(i)(I) of the Second Schedule to the Modification Letter and shall not be used by the Owners without the prior written consent of the

Director for the purpose of storage or for the erection of any temporary structure or for any purposes other than the carrying out of the works specified in Condition No. (ac) of the Second Schedule to the Modification Letter.”

### Section II – Additional Rights of the First Owner

“8(a)(v) The right to redeliver to the Government on demand the Yellow Areas or any part or parts thereof and to dedicate to the public any part or parts of the lot, (and in so far as the portion to be dedicated is part of the Common Areas and Facilities, the dedication shall be subject to the approval of the Owners’ Committee or Owners’ Corporation (if formed)), and/or the Estate vested in the name of the First Owner for the purposes of passage with or without vehicles or, in so far as the portion to be dedicated is any part of the Estate vested in the name of the First Owner only, in such manner as the First Owner shall in its absolute discretion deem fit PROVIDED THAT in making such dedication the First Owner shall not interfere with an Owner’s right to hold, use, occupy and enjoy the part of the Estate which he owns and PROVIDED FURTHER THAT any claim for any benefit in the event that the Building Authority permits the site coverage or the plot ratio for any building and buildings or for any part and parts of any building or buildings within the lot to exceed the permitted site coverage or plot ratio, as the case may be as a result of such dedication or in the event that Government offers any money or grant any land as compensation for or in exchange of such dedication, shall accrue for the benefit of the Owners and be applied to the management fund.”

### Section III – Manager and Management Charges

“13(i)(13) the costs and expenses for the maintenance and carrying out of all works in respect of the Yellow Areas and everything thereon, therein or thereunder in good substantial repair and condition until such time as possession of the Yellow Areas shall have been redelivered to the Government in accordance with Condition No. (ac)(iv) of the Second Schedule to the Modification Letter Provided that in the event where part or parts of the Yellow Areas shall have been redelivered to the Government in accordance with Condition No. (ac)(iv) of the Second Schedule to the Modification Letter, the obligations of the Owners to uphold, manage, maintain and repair the Yellow Areas under Condition No. (ac)(i) of the Second Schedule to the Modification Letter shall cease in so far as the part or parts which have been

redelivered to the Government are concerned but not further or otherwise;”

“38(j) To prevent so far as is possible any refuse or other matter being deposited, washed, eroded or falling from the Estate onto any part of any public roads or any road-culverts, sewers, drains, nullahs or other Government property and to remove any such matter therefrom and to ensure that no damage is done to any part of any Government property or any drains, waterways, watercourses (including water main), footpaths, sewers, nullahs, pipes, cables, wires, utility services or other works or installations being in, under, over or adjacent to the lot or the Yellow Areas or any part of the lot or the Yellow Areas by reason of any maintenance or other works carried out by the Manager as herein provided and to make good any such damage;”

“38(pp) In the event that the Government agrees to take over or resume any part or parts of the Common Areas and Facilities or to take back possession of the Yellow Areas or any part thereof, to surrender or redeliver the same or any part thereof to the Government and the Manager is HEREBY APPOINTED the lawful attorney to execute and sign all relevant documents on behalf of all the Owners for such purpose including matters relating to payment of compensation PROVIDED THAT any benefit or monetary compensation so obtained shall be used for the common benefit of all the Owners or go into the management fund, as the case may be;”

“40(g) To maintain and carry out all works in respect of the Yellow Areas and everything thereon, therein or thereunder in good substantial repair and conditions until such time as possession of the Yellow Areas shall have been redelivered to the Government according to Condition No. (ac)(iv) of the Second Schedule to the Modification Letter provided that in the event where part or parts of the Yellow Areas shall have been redelivered to the Government in accordance with Condition No. (ac)(iv) of the Second Schedule to the Modification Letter, the obligations of the Owners to uphold, manage, maintain and repair the Yellow Areas under Condition No. (ac)(i) of the Second Schedule to the Modification Letter shall cease in so far as the part or parts which have been redelivered to the Government are concerned but not further or otherwise;”

“40(k) To engage suitable personnel and appropriate professionals to do all necessary works in

discharge of the Manager’s powers and duties under this deed, including but not limited to procuring from a qualified professional or consultant the revised schedule and the revised maintenance manual(s) and preparing and registering the memorandum referred to in Section XI of this Deed, and doing works in respect of the the Yellow Areas and other works in compliance with the Government Grant, and for this purpose the Manager (which for this purpose shall include any Owners’ Committee or Owners’ Corporation) shall have the right to demand from the Owners, and the Owners shall be liable to pay such contributions to the costs lawfully incurred or to be incurred in carrying out such works by way of a lump sum or instalments or otherwise as the Manager shall decide but without prejudice to the Manager’s right to apply the general or any parts of the management fund as the Manager may deem fit towards payment of the costs or any part thereof PROVIDED ALWAYS THAT the Manager shall not be personally liable for carrying out any such works as required by the Government Grant or this Deed or otherwise which shall in any event remain the responsibility of the Owners if, having used all reasonable endeavours, the Manager has not been able to collect the costs of the required works from all the Owners.”

### Third Schedule

“37 (a) The Owners shall, at all times throughout the term of the Government Grant, at their own expense lay, form, provide, construct and landscape in such manner with such materials and to such standards, levels, alignment and design as the Director shall approve (including the provision and construction of such culverts, viaducts, sewers, drains or such other structures as the Director in his sole discretion may require) the Yellow Areas.

(b) The Owners shall, at all times throughout the term of the Government Grant, at their own expense, uphold, manage, maintain and repair the Yellow Areas and everything thereon, therein or thereunder in good and substantial repair and condition until such time as possession of the whole of the Yellow Areas has been redelivered to the Government in accordance with Condition No. (ac)(iv) of the Second Schedule to the Modification Letter.”

“41 The Owners shall at all times throughout the term of the Government Grant uphold maintain and carry out all works in respect of the Yellow Areas and everything thereon, therein

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or thereunder in good substantial repair and condition until such time as possession of the Yellow Areas shall have been redelivered to the Government in accordance with Condition No. (ac)(iv) of the Second Schedule to the Modification Letter provided that in the event where part or parts of the Yellow Areas shall have been redelivered to the Government in accordance with Condition No. (ac)(iv) of the Second Schedule to the Modification Letter, the obligations of the Owners to uphold, manage, maintain and repair the Yellow Areas under Condition No. (ac)(i) of the Second Schedule to the Modification Letter shall cease in so far as the part or parts which have been redelivered to the Government are concerned but not further or otherwise.”

“42 The Owners shall not without the prior written consent of the Director use the Yellow Areas or any part or parts thereof for the purpose for storage or for the erection of any temporary structure or for any purposes other than the carrying out of the works specified in Condition No. (ac)(i) of the Second Schedule to the Modification Letter.”

# 17 INFORMATION ON PUBLIC FACILITIES AND PUBLIC OPEN SPACES

## 公共設施及公眾休憩用地的資料

### A. 對根據批地文件規定須興建並提供予政府或供公眾使用的任何設施的描述

#### 黃色區域

- 根據政府批地書第(ac)條的規定，業主須自費鋪設、塑造、提供、建成夾附在政府批地文件的“PLAN A”並以黃色顯示的地方(「黃色區域」)，及對其作環境美化，在所有方面達致地政總署署長(「署長」)滿意程度。
- 業主須自費維持、管理、保養及維修黃色區域，在所有方面達致署長滿意的程度，直至按政府要求交還黃色區域為止，但不得強迫政府取回黃色區域。
- 除非獲得署長事先書面同意，業主不得使用黃色區域作任何用途，但按政府批地文件條款第(ac)(i)條件內進行的工程則除外。
- 當業主擁有黃色區域時須容許政府、公共事業公司或其他由政府授權人士自由出入及通過該地段及黃色區域。

### B. 對根據批地文件規定須由發展項目中的住宅物業擁有人出資管理、營運或維持以供公眾使用的任何設施的描述

不適用

### C. 根據批地文件規定須由發展項目中的住宅物業的擁有人出資管理、營運或維持以供公眾使用的任何休憩用地的大小

不適用

### D. 該發展項目所位於的土地中為施行《建築物(規劃)規例》(第123章，附屬法例F)第22(1)條而撥供公眾用途的任何部分的描述

不適用

關於上述A、B、C及D段所述供公眾使用的任何該等設施及休憩用地，及土地中的該等部分，公眾有權按照批地文件或撥出私人地方供公眾使用的契據(視屬何情況而定)使用該等設施或休憩用地，或土地中的該等部分。

關於上述B或C段所述的任何該等設施及休憩用地，該等設施或休憩用地按規定須由發展項目中的住宅物業的擁有人出資管理、營運或維持，而該等擁有

人按規定須以由有關住宅物業分攤的管理開支，應付管理、營運或維持該等設施或休憩用地的部分開支。

批地文件、撥出私人地方供公眾使用的契據及指明住宅物業的每一大廈公契中關於上述A、B、C及D段所述的該等設施及休憩用地，及土地中的該等部分的條文

- 政府批地文件的條文

“(q) 買方須在任何時候採取或促使他人採取一切適當及充分的關注、技巧及預防措施，尤其在進行任何建築、保養、翻新或維修工程(以下簡稱為「工程」)時，避免對任何存在或行經於該地段或其任何部份或本政府批地文件條款第(ac)(i)(I)條規定的黃色區域或兩者或其中任何部分及黃色區域以上、上面、下面或相鄰的任何政府擁有的或其他現有排水渠、水路或水道、總水喉、道路、行人路、街道設施、污水渠、明渠、管道、電纜、電線、公用事業服務或任何其他工程或裝置(以下合稱為「服務」)造成任何損壞、干擾或阻礙。買方在進行任何上述工程之前須進行或促使他人進行適當調查及查詢，以確定服務的現時位置和所處水平，並就如何處理可能受工程影響之服務向署長提交書面建議，供其審批，及必須在取得該書面批准後才能進行任何工程。買方須履行及自費達成署長在批准建議時加入對服務的任何要求，包括任何需要的改道、重鋪或修復的費用。買方必須自資在一切方面維修、彌補及修復使署長滿意因工程以任何方式引致該地段或其任何部份或黃色區域或兩者或其中任何部分及黃色區域或任何服務的任何損壞、干擾或阻礙(明渠、污水渠、雨水渠、排水渠或總水喉須由署長負責修復，除非其另作選擇，買方須按政府要求支付該等工程的費用)。如果買方未能對該地段或黃色區域或兩者或其中任何部分及黃色區域或任何服務進行上述必要的改道、重鋪、維修、修復及彌補工程，以達致署長滿意程度，署長可進行其認為必要的上述改道、重鋪、維修、修復或彌補工程，買方須按政府要求支付該等工程的費用。”

“(ac)(i) 買方須自費以下事項並在所有方面達致署長滿意的程度：-

- (I) 以署長批准的物料及標準、程度、路線及設計，鋪設、塑造、提供、建成夾附在政府批地文件的“PLAN A”並以黃色顯示的地方(「黃色區域」)，及對其作環境美化(包括根據署長之自決酌情權要求，提供及建築暗渠、高架橋、污水渠、排水渠及其他構築物)；及

- (II) 維持、管理、保養及維修黃色區域及其上、其內或其下所有物在良好的修葺狀況，直至根據本政府批地文件條款第(iv)分條把整個黃色區域的管有權交還給政府為止。

但當黃色區域或其任何部份按本政府批地文件條款第(iv)分條交還予政府時，買方根據本第(i)分條維持、管理、保養及維修黃色區域的責任就已交還予政府的部分而言將告終止，但並不適用於其他部分。

- (ii) 如買方未能履行其按本政府批地文件條款第(i)分條的責任(署長有關決定是最終並對買方有約束力的)，政府可進行所須工程，惟有關費用須由買方負責，並按政府要求支付一筆為數與工程費用相同的款項，該款項由署長決定，其決定是最終並對買方有約束力的。
- (iii) 政府無須因買方履行其按本政府批地文件條款第(i)分條規定的責任或政府按本政府批地文件條款第(ii)分條規定行使權力時引致買方或其他任何人士蒙受的任何損失、損害、滋擾或騷擾承擔法律責任，而買方不得向政府、署長、其職員、代理、承建商、持有人、工人或其授權人士就任何該等損失、損害、滋擾或騷擾提出賠償申索。
- (iv) 黃色區域的管有權於2008年4月17日批予買方，以使其進行按本政府批地文件條款第(i)分條內所指明的必要工程。黃色區域或其任何部份須按署長要求無償交還政府，但不得強迫政府取回黃色區域或其任何部份的管有權。
- (v) 除非獲得署長事先同意，買方不得將黃色區域或其任何部份用作貯存用途，或興建任何臨時構築物，或作其他任何並非根據本政府批地文件條款第(i)分條所容許進行的工程的用途。
- (vi) (I) 當買方擁有黃色區域或其任何部份的管有權時，買方須在所有合理時間內：

- (A) 准許署長、其職員、代理、承建商及其任何授權人士進出、往返及穿越該地段及黃色區域以視察、檢查及監督任何遵從本政府批地文件條款第(i)分條規定而進行的工程，和進行、視察、檢查及監督任何按本政府批地文件條款第(ii)分條規定而進行的工程及署長認為在黃色區域必要進行的其他工程；

- (B) 准許政府、由政府授權公共事業公司因應他們的要求進出、往返及穿越該地段及黃色區域，以便其在黃色區域或任何鄰近土地之內、上面或下面進行工程，包括但不限於水渠、電纜、電線、纜線管及為了供應該地段或任何鄰近土地或物業使用而提供的電話、電、煤氣(如有)及其他服務設施所須的其他公用連接媒體及附帶設備的鋪設及隨後的保養。買方須就上述任何在黃色區域內進行的工程的有關事宜與政府及由政府授權的有關公共事業公司充分合作。

- (C) 准許水務署的職員及其授權人士因應他們的要求進出、往返及穿越該地段及黃色區域以便其在黃色區域進行任何有關運作、保養、維修、更換或改動任何供水系統安裝的工程。

- (II) 政府無須因政府、其職員、代理、承建商及按本政府批地文件條款第(vi)(I)分條規定而獲授權的其他人士或公共事業公司因行使權力時引致買方或其他任何人士蒙受的任何損失、損害、滋擾或騷擾承擔法律責任。”

- 大廈公契的條文

敘文 (I)

“黃色區域”

指按修訂書內附表二第(ac)(i)(I)條件所指，並於夾附在修訂書標記為Plan A的圖則上以黃色顯示的部份。未經地政總署署長事先同意，業主不得將該等部份用作貯存或興建任何臨時構築物，或作其他任何並非根據該修訂書附表二第(ac)條所容許進行的工程的用途。”

第二部份 — 第一業主的額外權利

- “8(a)(v) 有權把黃色區域或其任何部份按交還給政府並把該地段及/或該屋苑屬於第一業主名下的部份或任何部份撥供給公眾作通道或車輛通道(如撥供的部份為公共地方及設施的部份，則撥供須事先獲得業主委員會或業主立案法團(如已成立)的批准)，或如撥供的部份只屬於第一業主名下，則以第一業主在其絕對酌情權下認為合適的方式撥供，惟在作出此等撥供時，第一業主不得妨礙任何一名業主持有、使用、佔用及享用其擁有的該屋苑部份的權利，且如建築事務監督因該撥供情況下而允許在該

# 17 INFORMATION ON PUBLIC FACILITIES AND PUBLIC OPEN SPACES

## 公共設施及公眾休憩用地的資料

地段內任何建築物及建築物群或其任何部份的覆蓋率或地積比率超過原先得容許的覆蓋率或地積比率，或政府因該撥供而作出金錢或授與任何土地作為賠償或交換時而產生任何利益，該等利益須歸於業主或撥入管理基金。”

### 第三部份 — 經理和管理費用

“13(i)(13) 直至按照該修訂書附表二第(ac)(iv)條規定將黃色區域交還給政府前，保養黃色區域及其上、其中或其下的所有物及進行所有維修工程以保持其在修葺良好堅固狀況下的費用及支出；但當黃色區域或其任何部份按照該修訂書附表二第(ac)(iv)條交還予政府時，修訂書附表二第(ac)(i)條規定買方維持、管理、保養及維修黃色區域或其部份的責任在交還予政府時終止；”

“38(j) 盡可能防止任何垃圾或其他物件被棄置、清洗、腐爛或從該屋苑跌下在任何公眾道路的任何部份或任何道路暗渠、污水管、排水渠、防洪渠或其他政府物業並清理該等物件，及確保經理人進行本契約規定的任何維修或其他工程不會對任何處於在該地段或黃色區域或該地段或黃色區域中任何部份之內、之下、之上或旁邊的政府物業的任何部份或任何排水渠、排水溝、水道(包括總水管)、行人路、污水管、防洪渠、喉管、電纜、電線、公用服務或其他工程或設置造成損害並修復任何該損害；”

“38(pp) 當政府意欲接管或收回公共地方及設施的任何部份或收回黃色區域的管有權或其任何部份時，將該部份或其中任何部份交回政府，而經理人在此被委任為合法受權人，並以此為目的代表所有業主簽立及簽署所有有關文件，包括與支付補償有關的事宜，惟任何由此獲得的利益或金錢補償須用作所有業主的共同利益或視乎情況存入管理基金；”

“40(g) 直至根據該修訂書附表二第(ac)(iv)條款把黃色區域管有權交還予政府前，保養及進行所有有關黃色區域及任何其上、其內或其下的所有物的工程以達致良好的修葺狀況；但當黃色區域或其任何部份按照該修訂書附表二第(ac)(iv)條交還予政府時，修訂書附表二第(ac)(i)條規定買方維持、管理、保養及維修黃色區域或其部份的責任在交還予政府時終止。”

“40(k) 聘請合適的人員及適當的專業人士進行所

有必須的工程以履行本契約內經理人的權力及職責，包括但不限於從一合資格專業人士或顧問取得在本契約第十一部分指定的修訂附表及修訂保養手冊及製備及登記本契約第十一部分指定的備忘錄，進行和黃色區域有關及其他符合政府批地書的工程，而就此目的而言，在不影響經理人認為適合利用一般管理基金或其任何部份以支付相關費用或其任何部份的權力的情況下，經理人(包括任何業主委員會或業主立案法團)有權要求業主及業主須負責以整筆或分期付款的方式或經理人決定的其他方式支付就進行該等工程合法地引起或將會引起的費用及支出作出分擔；但如經理人已盡其一切合理所能卻仍未能從所有業主收取進行所需要的工程的費用，經理人不需以個人承擔進行政府批地書或本契約或其他方面規定的該等工程，而該等工程在任何情況下仍然由業主負責。”

### 附表三

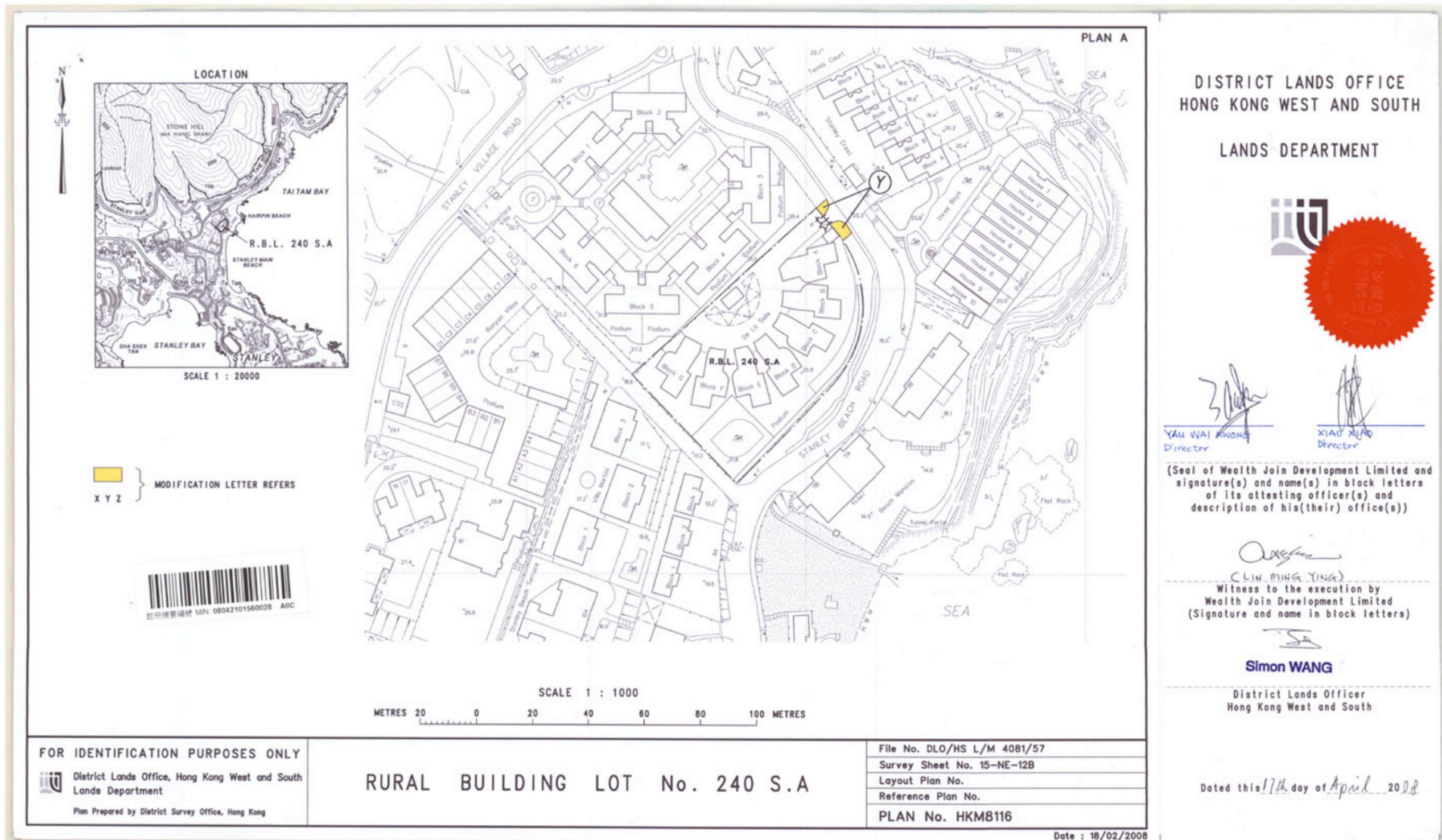
“37 (a) 業主在政府批地書的年期內須一直自費以地政總署署長批准的方式、材料、標準、水平、定線及設計，鋪設、塑造、提供、建成黃色區域，及對其作環境美化(包括根據地政總署署長之自決酌情權要求，提供及建築暗渠、高架橋、污水渠、排水渠及其他構築物)。

(b) 業主在政府批地書的年期內須一直自費維持、管理、保養及維修黃色區域及其上、其內或其下所有物在良好的修葺狀況，直至根據該修訂書附表二第(ac)(iv)條款把整個黃色區域的管有權交還給政府為止。”

“41 業主在政府批地書的年期內須一直自費維持、管理、保養及進行所有有關黃色區域及其上、其內或其下所有物的工程以達致良好的修葺的狀況，直至根據該修訂書附表二第(ac)(iv)條規定把黃色區域的管有權交還給政府為止。但當黃色區域或其任何部份按該修訂書附表二第(ac)(iv)條交還予政府時，修訂書附表二第(ac)(i)條規定買方維持、管理、保養及維修黃色區域或其部份的責任在交還予政府時終止。”

“42 未經地政總署署長事先書面同意，業主不得將黃色區域或其任何部份用作貯存、興建臨時構築物、或作其他任何並非根據該修訂書附表二第(ac)(i)條所容許進行的工程的用途。”

# 17 INFORMATION ON PUBLIC FACILITIES AND PUBLIC OPEN SPACES 公共設施及公眾休憩用地的資料



Legend 圖例 :

Modification Letter Refers  
X Y Z } 修訂信指的是

Note 註 :

The Yellow Areas are shown coloured yellow in the plan above. The above plan is for showing the location of the Yellow Areas only. Other matters shown in that plan may not reflect their latest conditions.

「黃色區域」於圖中以黃色顯示。本圖僅顯示「黃色區域」的位置，圖中所示之其他事項未必能反映其最新狀況。

# 18 WARNING TO PURCHASERS

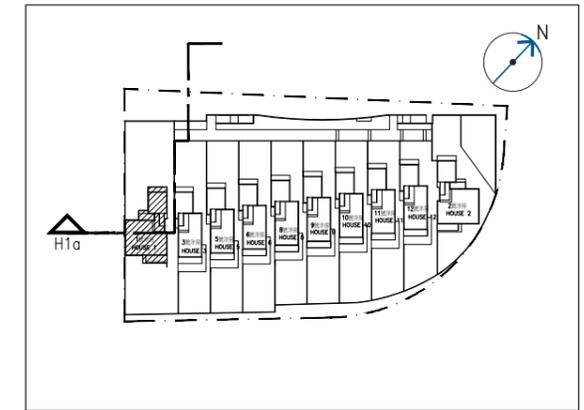
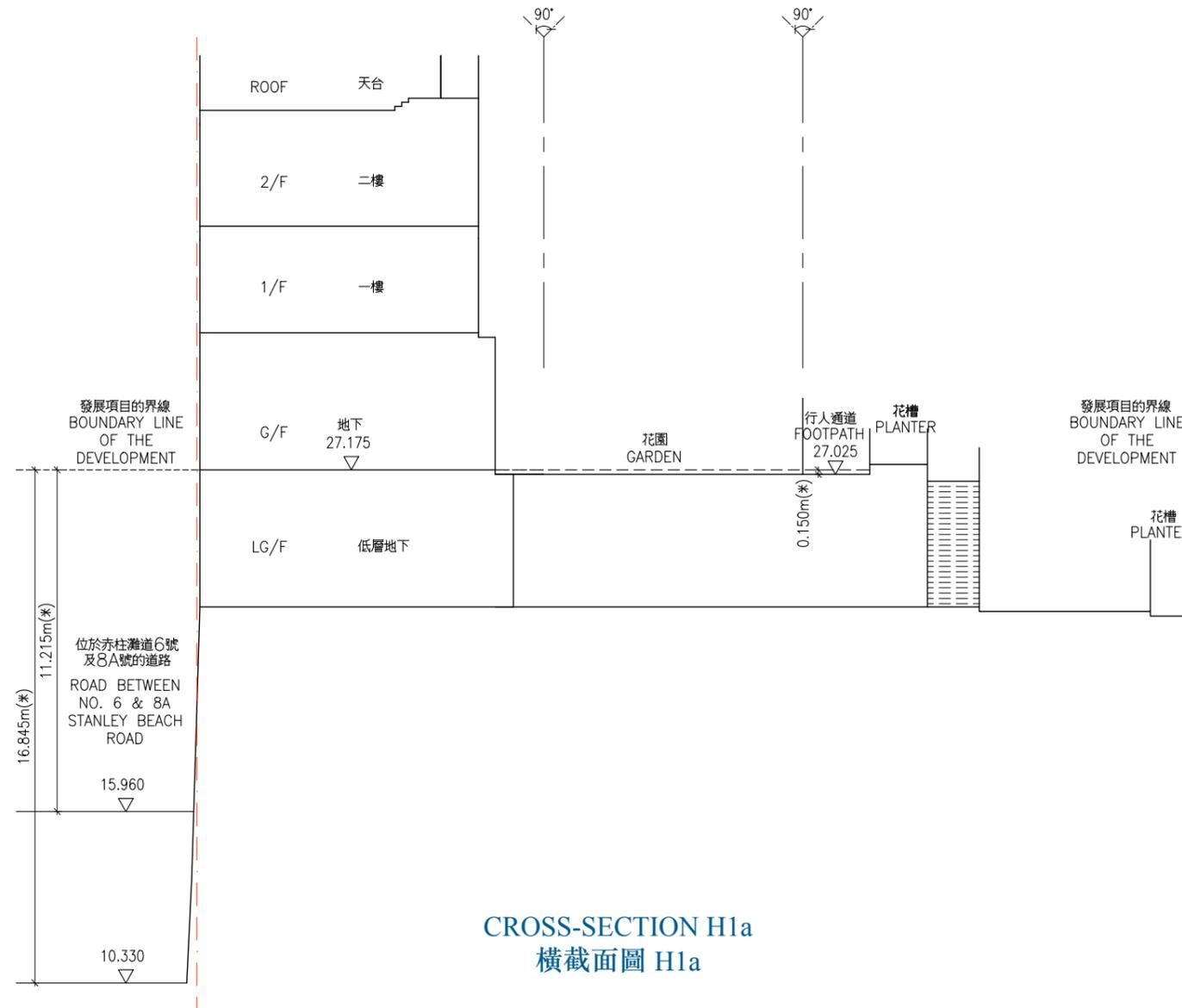
## 對買方的警告

1. The purchaser is recommended to instruct a separate firm of solicitors (other than that acting for the owner) to act for the purchaser in relation to the transaction.
  2. (a) If the purchaser instructs such separate firm of solicitors to act for the purchaser in relation to the transaction, that firm will be able to give independent advice to the purchaser;  
(b) If the purchaser instructs the firm of solicitors acting for the owner to act for the purchaser as well, and a conflict of interest arises between the owner and the purchaser –
    - (i) that firm may not be able to protect the purchaser's interests; and
    - (ii) the purchaser may have to instruct a separate firm of solicitors; and(c) In the case of paragraph (b)(ii), the total solicitors' fees payable by the purchaser may be higher than the fees that would have been payable if the purchaser had instructed a separate firm of solicitors in the first place.
1. 建議買方聘用一間獨立的律師事務所(代表擁有人行事者除外)，以在交易中代表買方行事。
  2. (a) 如買方聘用上述的獨立的律師事務所，以在交易中代表買方行事，該律師事務所將會能夠向買方提供獨立意見；  
(b) 如買方聘用代表擁有人行事的律師事務所同時代表買方行事，而擁有人與買方之間出現利益衝突 –
    - (i) 該律師事務所可能不能夠保障買方的利益；及
    - (ii) 買方可能要聘用一間獨立的律師事務所；及(c) 如屬(b)(ii)段的情況，買方須支付的律師費用總數，可能高於如買方自一開始即聘用一間獨立的律師事務所便須支付的費用。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 1 1 號洋房



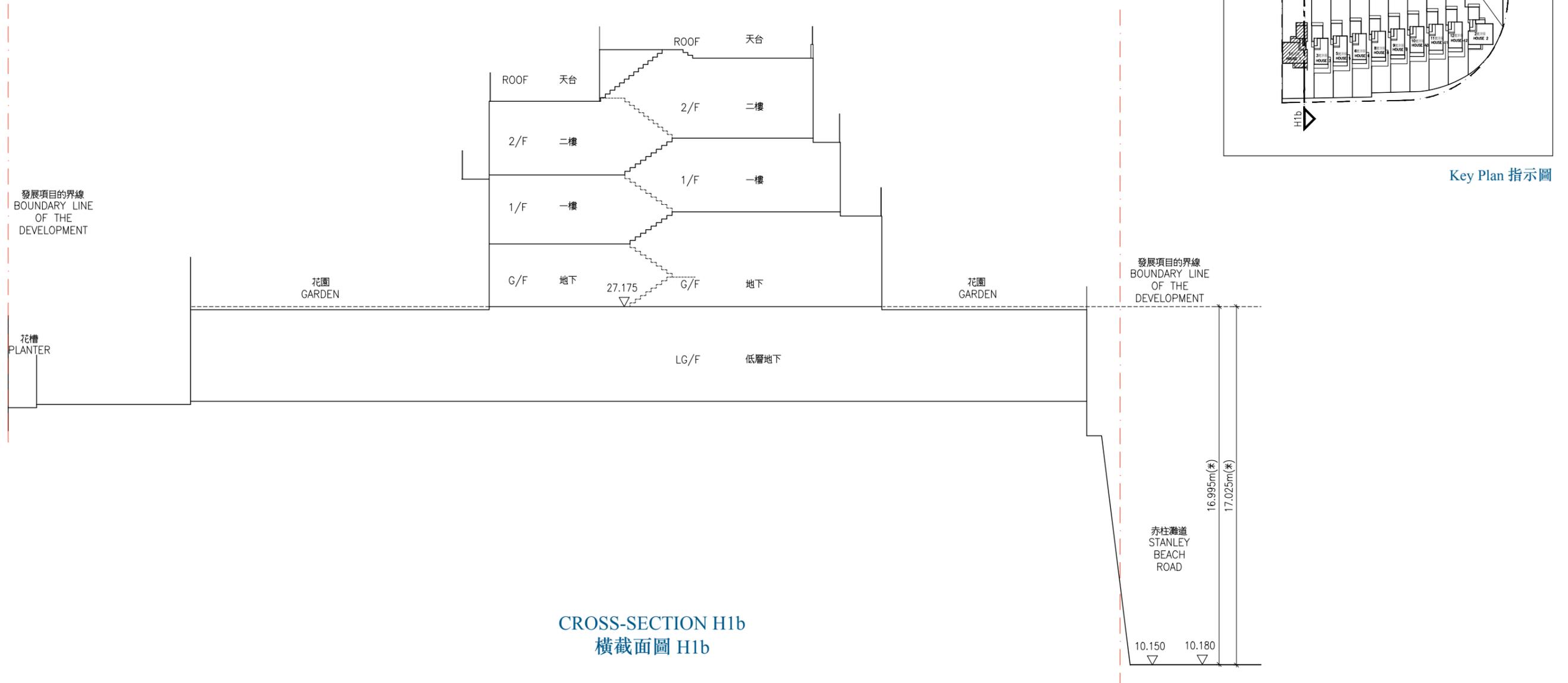
Key Plan 指示圖

- Notes:
1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
  2. ----- Dotted line denotes the lowest residential floor.
  3. The part of the road between No. 6 and 8A Stanley Beach Road adjacent to the building is 10.330 metres to 15.960 metres above the Hong Kong Principal Datum.
  4. The part of Footpath adjacent to the building is 27.025 metres above the Hong Kong Principal Datum.
- 備註：
1. ▽ 代表香港主水平基準以上高度(米)。
  2. ----- 虛線為該建築物最低住宅樓層水平。
  3. 毗連建築物的一段位於赤柱灘道6號及8A號的道路為香港主水平基準以上10.330米至15.960米。
  4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.025米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 1 1 號洋房



Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 10.150 metres to 10.180 metres above the Hong Kong Principal Datum.

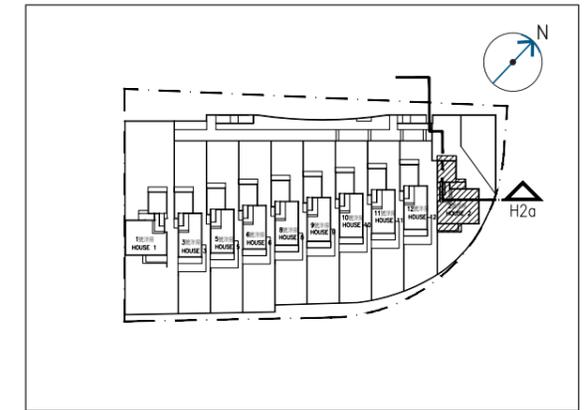
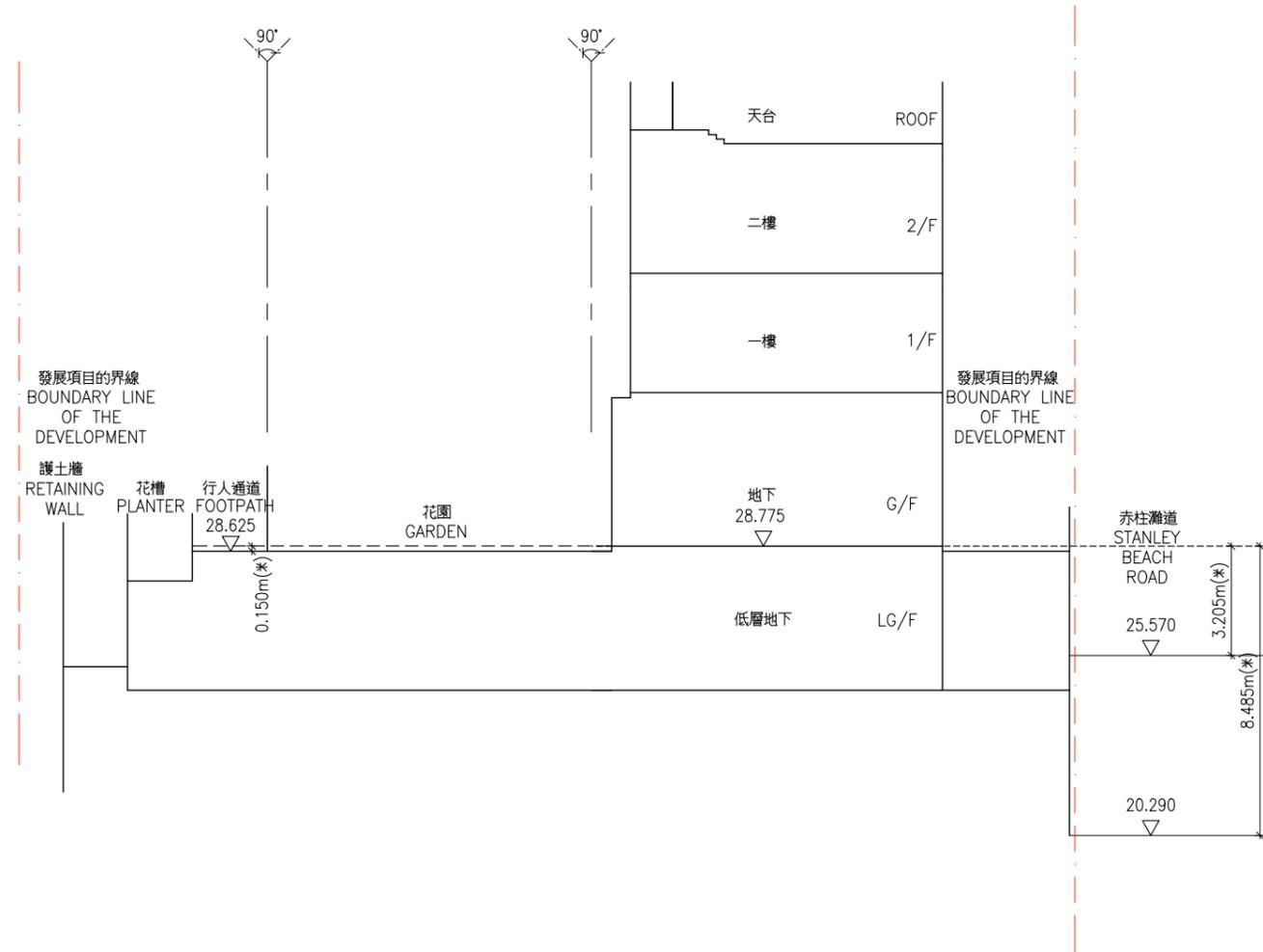
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上10.150米至10.180米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 2 2 號洋房



Key Plan 指示圖

CROSS-SECTION H2a  
橫截面圖 H2a

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 20.290 metres to 25.570 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 28.625 metres above the Hong Kong Principal Datum.

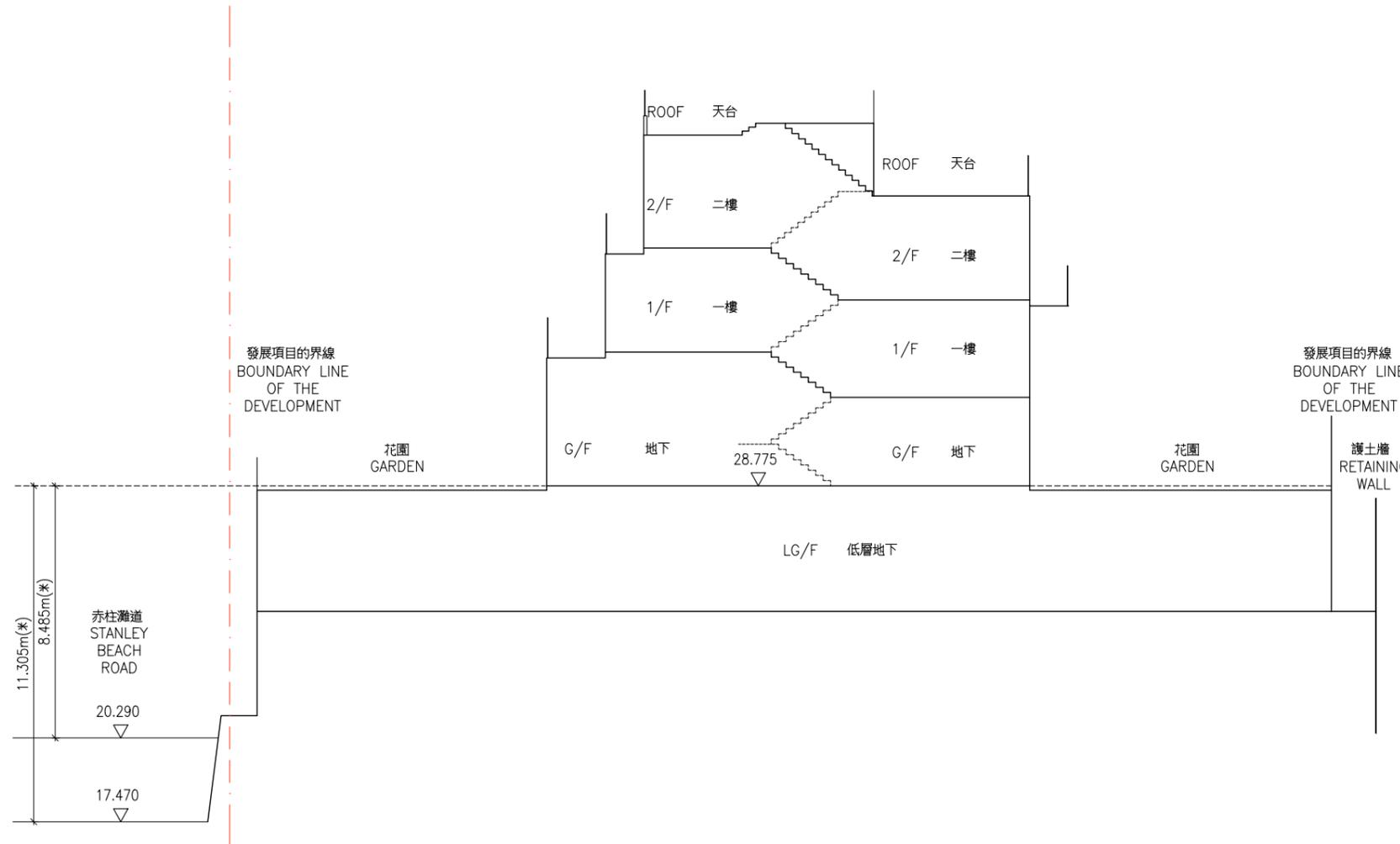
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上20.290米至25.570米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上28.625米。

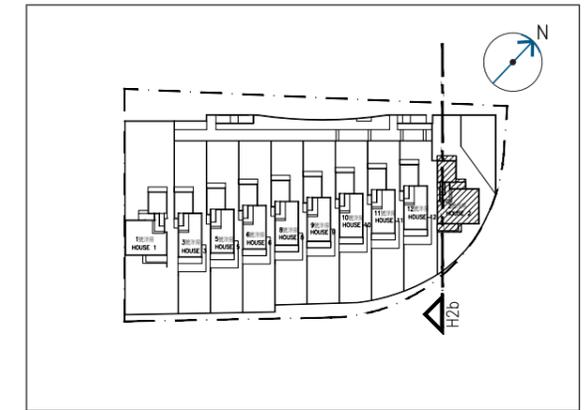
# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 2 2 號洋房



CROSS-SECTION H2b  
橫截面圖 H2b



Key Plan 指示圖

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 17.470 metres to 20.290 metres above the Hong Kong Principal Datum.

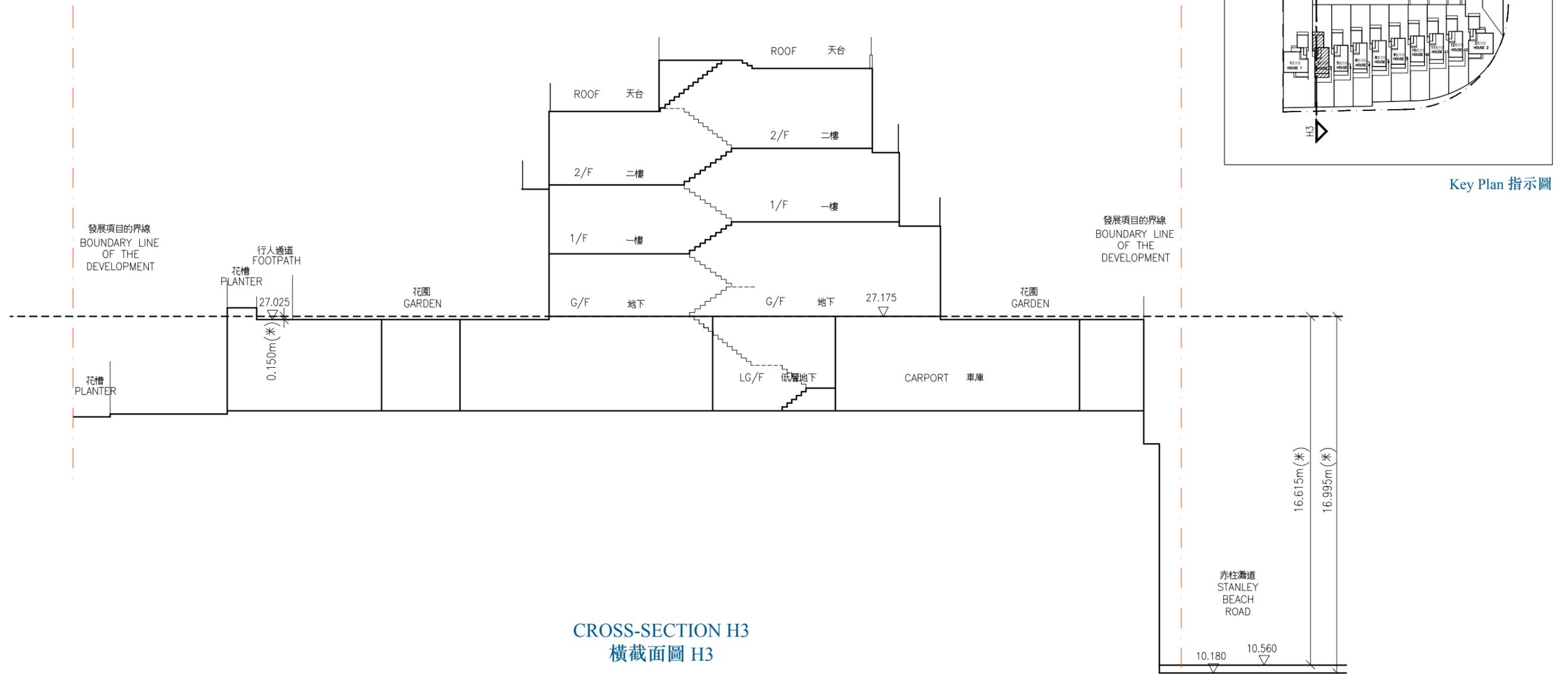
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上17.470米至20.290米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 3 3號洋房



CROSS-SECTION H3  
橫截面圖 H3

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 10.180 metres to 10.560 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.025 metres above the Hong Kong Principal Datum.

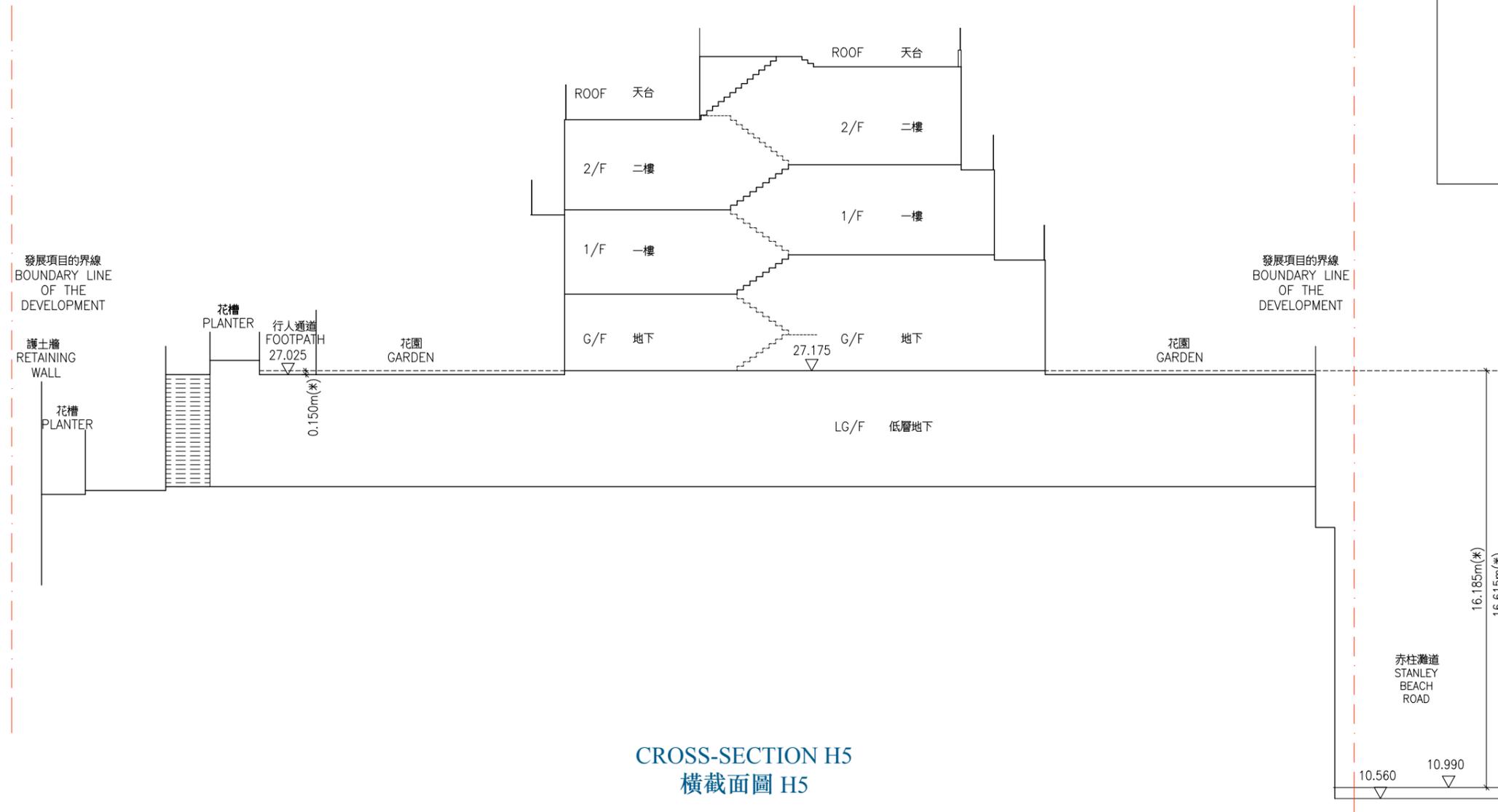
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上10.180米至10.560米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.025米。

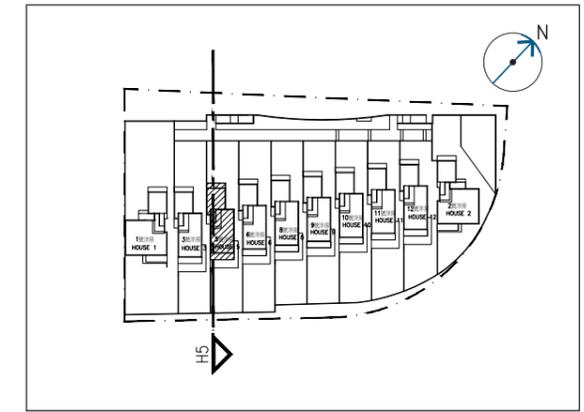
# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 5 5 號洋房



CROSS-SECTION H5  
橫截面圖 H5



Key Plan 指示圖

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 10.560 metres to 10.990 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.025 metres above the Hong Kong Principal Datum.

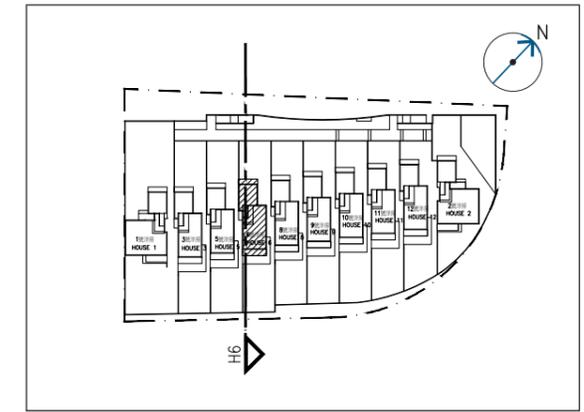
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上10.560米至10.990米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.025米。

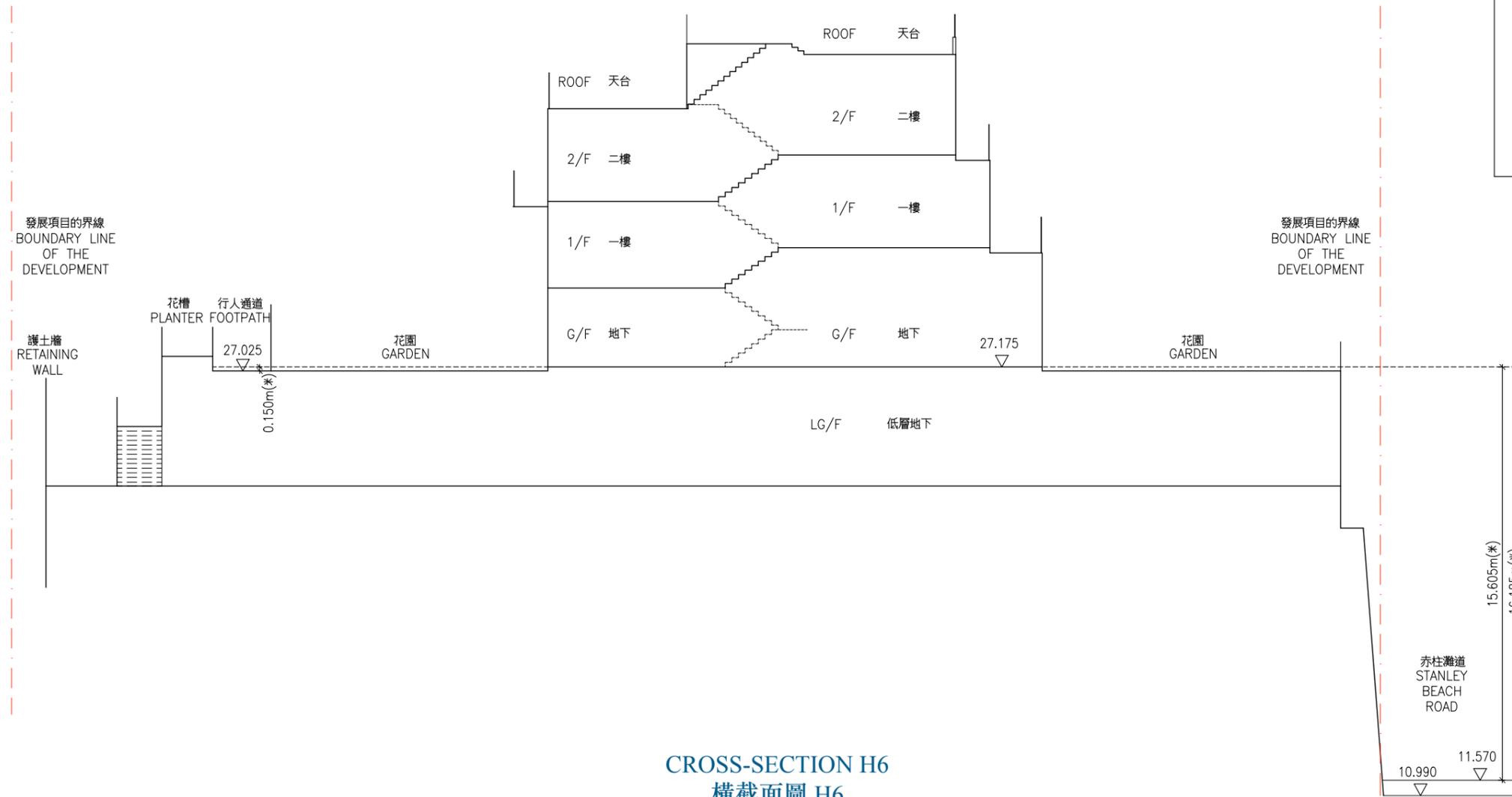
# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 6 6號洋房



Key Plan 指示圖



CROSS-SECTION H6  
橫截面圖 H6

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 10.990 metres to 11.570 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.025 metres above the Hong Kong Principal Datum.

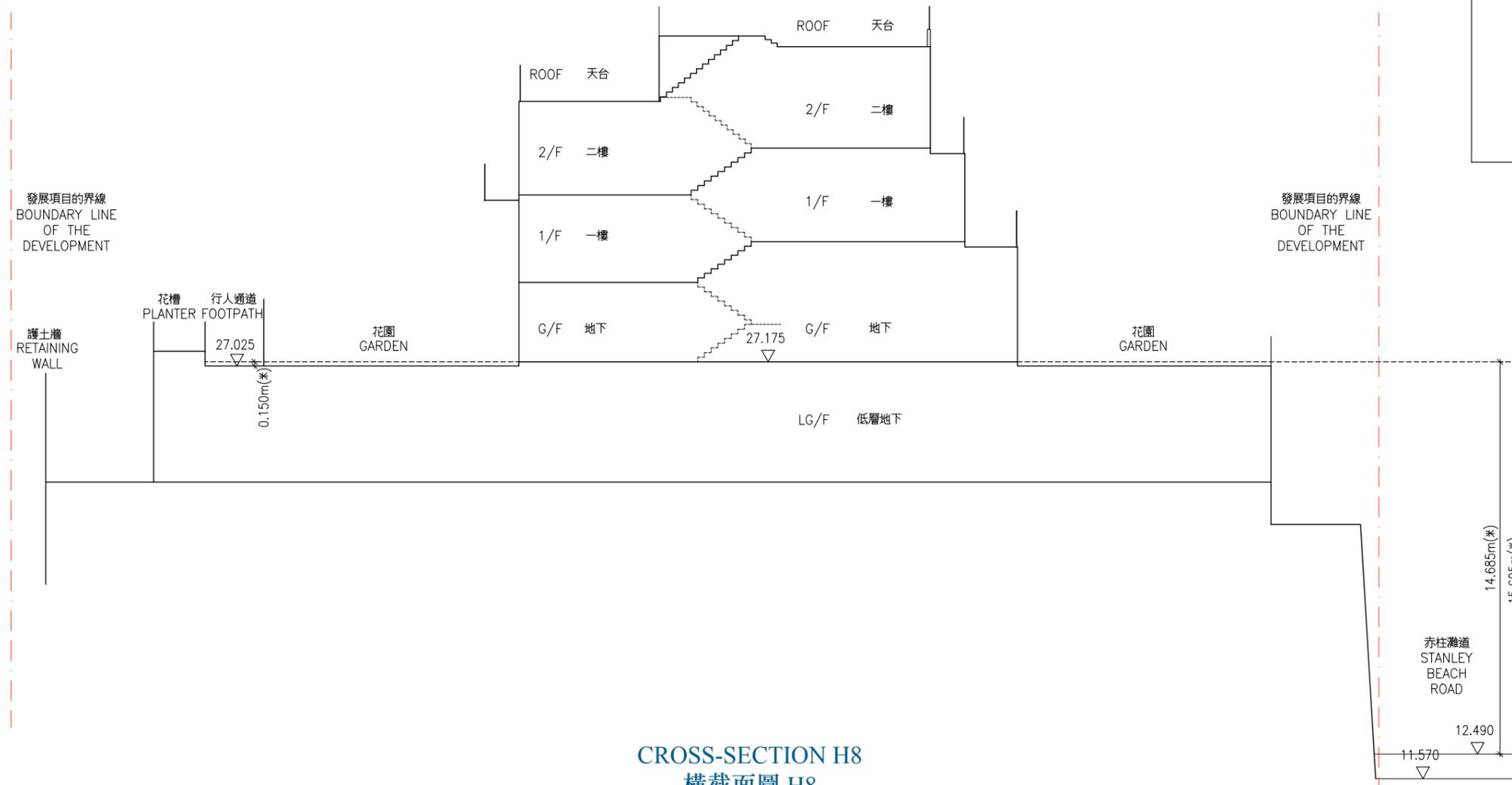
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上10.990米至11.570米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.025米。

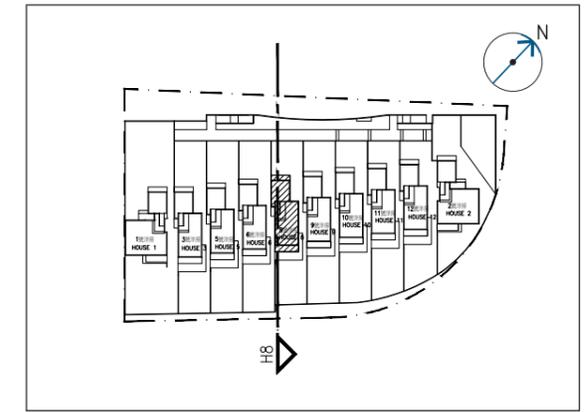
# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 8 8號洋房



CROSS-SECTION H8  
橫截面圖 H8



Key Plan 指示圖

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 11.570 metres to 12.490 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.025 metres above the Hong Kong Principal Datum.

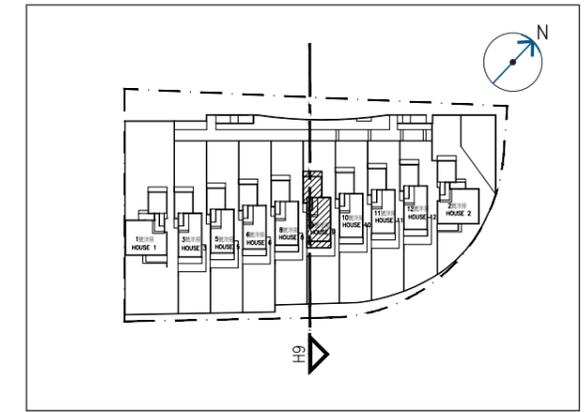
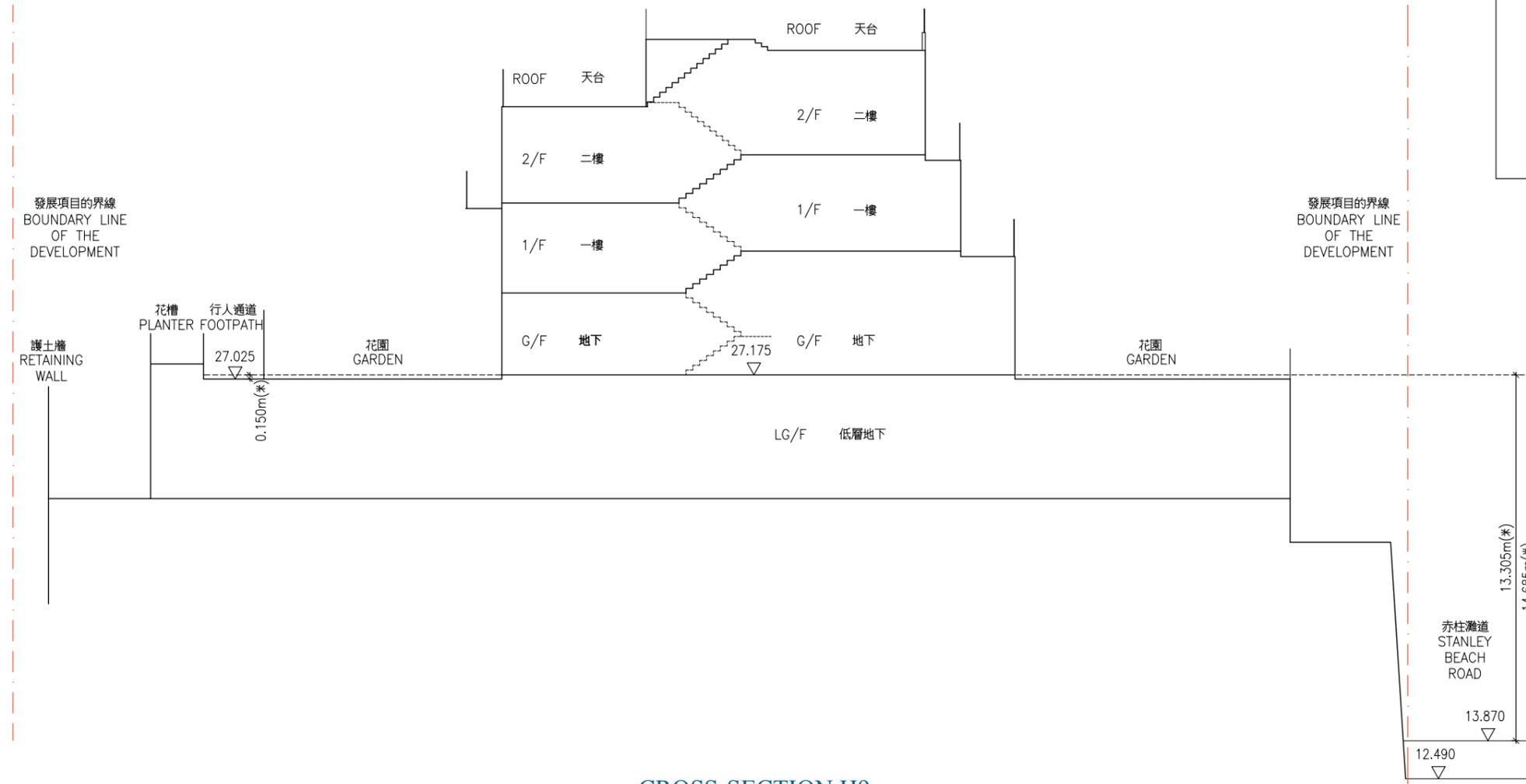
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上11.570米至12.490米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.025米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 9 9號洋房



Key Plan 指示圖

CROSS-SECTION H9  
橫截面圖 H9

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 12.490 metres to 13.870 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.025 metres above the Hong Kong Principal Datum.

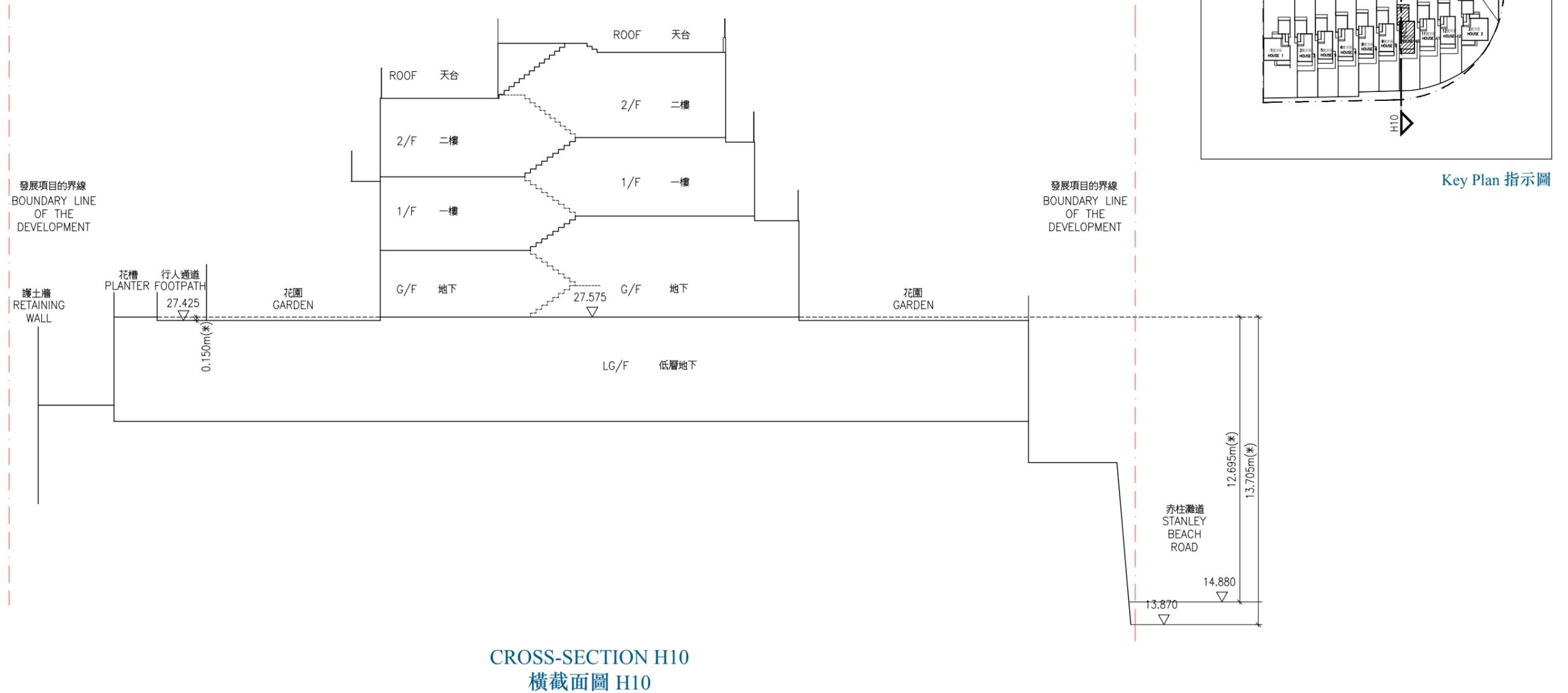
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上12.490米至13.870米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.025米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 10 10 號洋房



Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 13.870 metres to 14.880 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.425 metres above the Hong Kong Principal Datum.

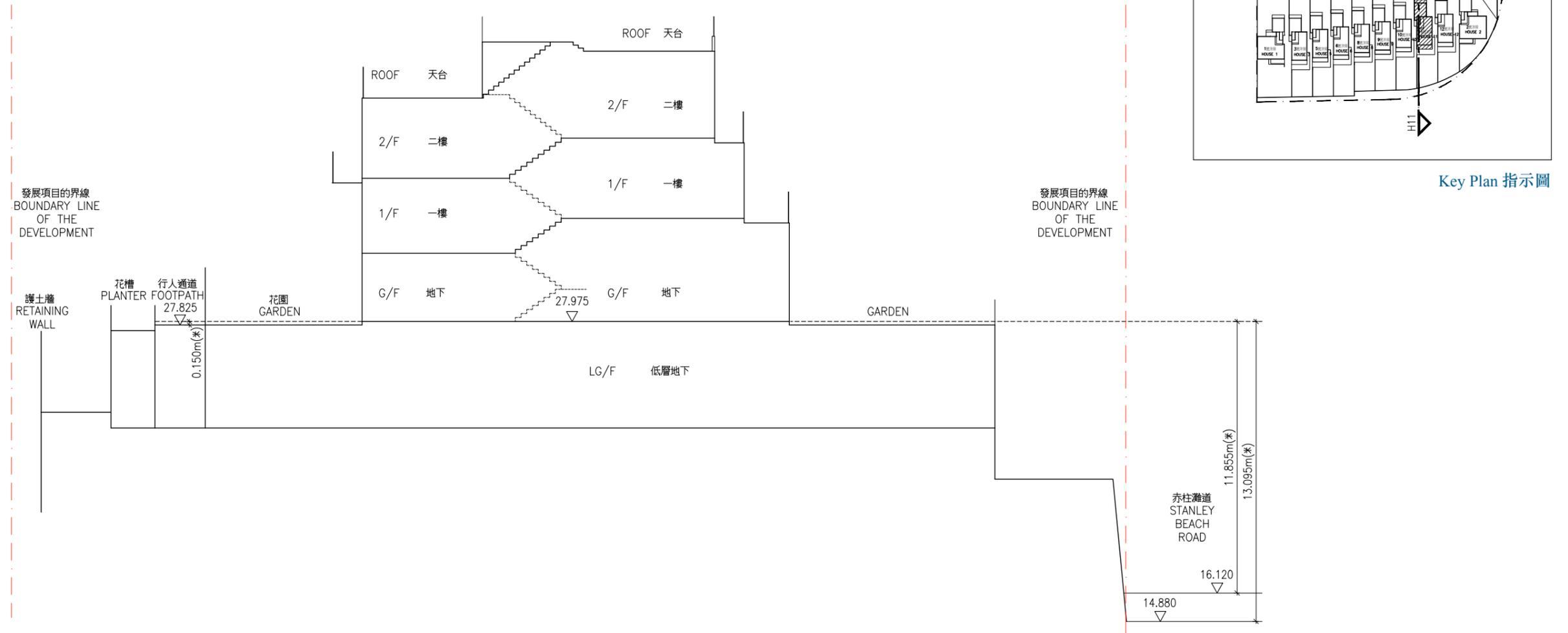
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上13.870米至14.880米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.425米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 11 11 號洋房



CROSS-SECTION H11  
橫截面圖 H11

Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 14.880 metres to 16.120 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 27.825 metres above the Hong Kong Principal Datum.

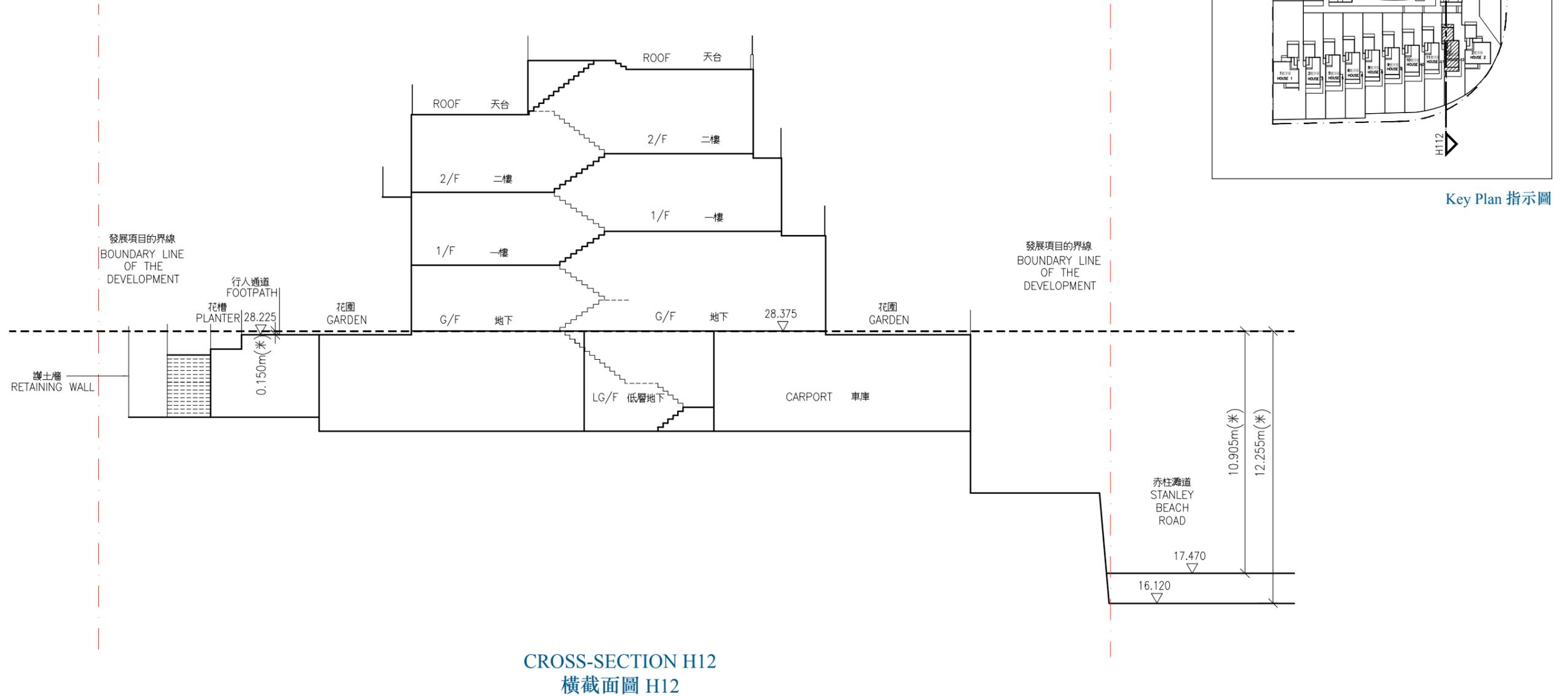
備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上14.880米至16.120米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上27.825米。

# 19 CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT

## 發展項目中的建築物的橫截面圖

### HOUSE 12 12 號洋房



Notes:

1. ▽ Denotes height (in metres) above the Hong Kong Principal Datum.
2. ----- Dotted line denotes the lowest residential floor.
3. The part of Stanley Beach Road adjacent to the building is 16.120 metres to 17.470 metres above the Hong Kong Principal Datum.
4. The part of Footpath adjacent to the building is 28.225 metres above the Hong Kong Principal Datum.

備註：

1. ▽ 代表香港主水平基準以上高度(米)。
2. ----- 虛線為該建築物最低住宅樓層水平。
3. 毗連建築物的一段位於赤柱灘道為香港主水平基準以上16.120米至17.470米。
4. 毗連建築物的一段位於行人通道為香港主水平基準以上28.225米。

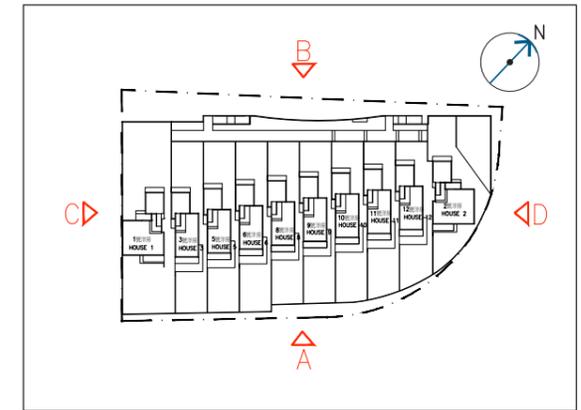
# 20 ELEVATION PLAN 立面圖



ELEVATION PLAN A  
立面圖 A



ELEVATION PLAN B  
立面圖 B



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

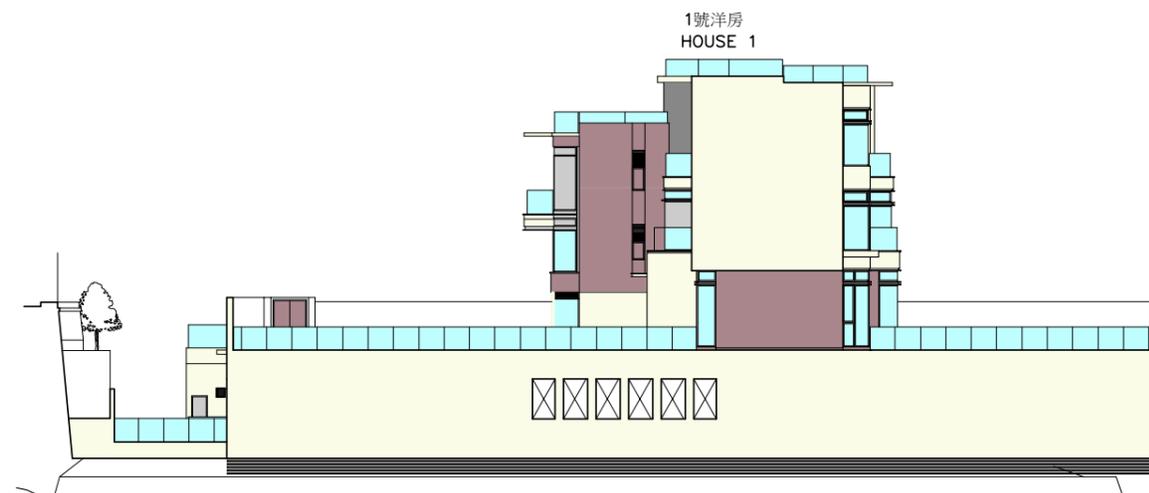
The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
- (b) 大致上與發展項目的外觀一致。

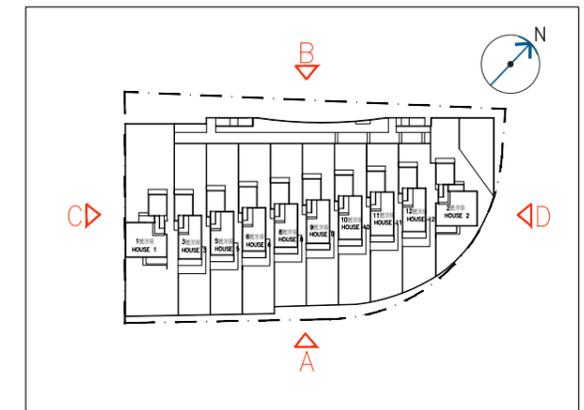
該圖則並無按照《一手住宅物業銷售條例》附表1第2部第19(3)條的規定由該發展項目的認可人士證明，理由為其作為發展項目的認可人士之委任已自2013年8月2日起停止，而其現不就發展項目提供認可人士服務。



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
- (b) 大致上與發展項目的外觀一致。

該圖則並無按照《一手住宅物業銷售條例》附表1第2部第19(3)條的規定由該發展項目的認可人士證明，理由為其作為發展項目的認可人士之委任已自2013年8月2日起停止，而其現不就發展項目提供認可人士服務。

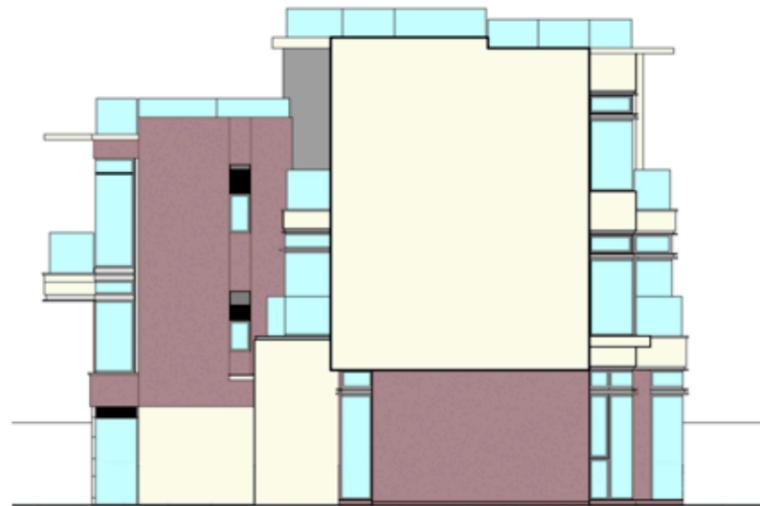
## HOUSE 1 1號洋房



ELEVATION PLAN A  
立面圖 A



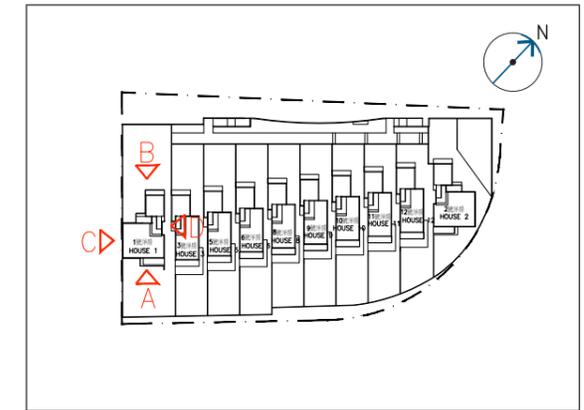
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
- (b) 大致上與發展項目的外觀一致。

該圖則並無按照《一手住宅物業銷售條例》附表1第2部第19(3)條的規定由該發展項目的認可人士證明，理由為其作為發展項目的認可人士之委任已自2013年8月2日起停止，而其現不就發展項目提供認可人士服務。

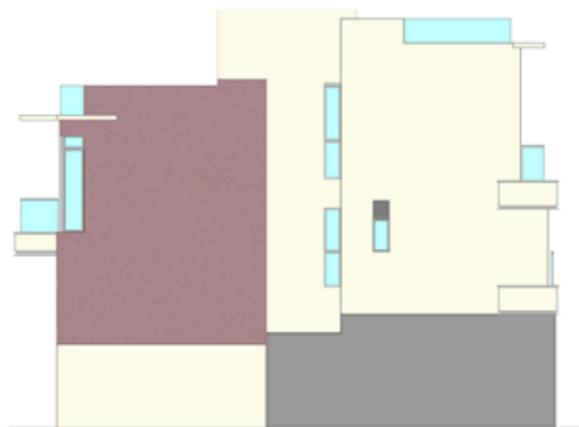
## HOUSE 2 2號洋房



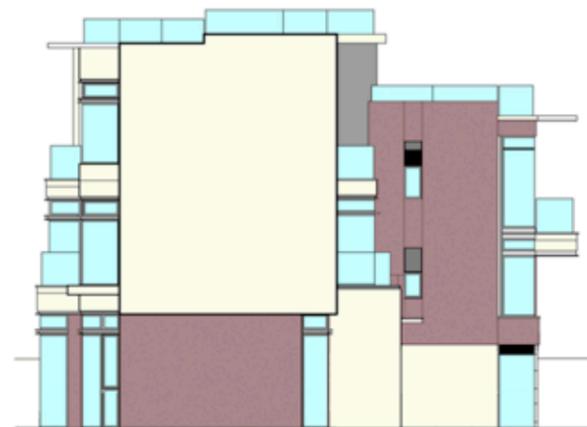
ELEVATION PLAN A  
立面圖 A



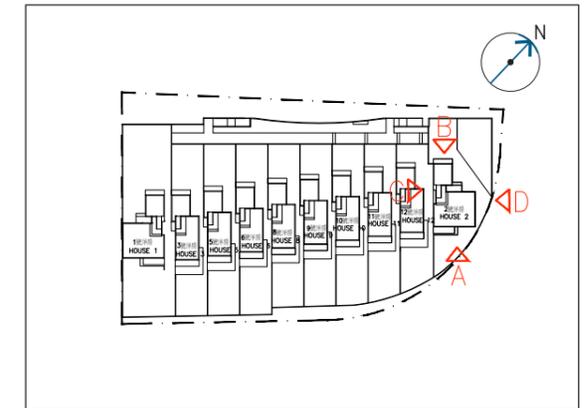
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

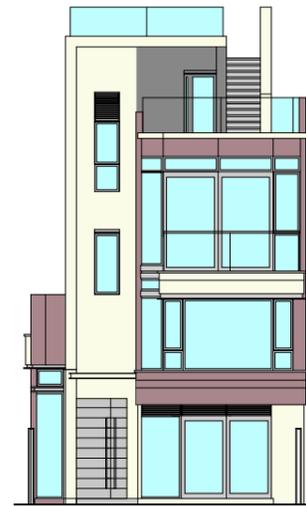
- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
- (b) 大致上與發展項目的外觀一致。

該圖則並無按照《一手住宅物業銷售條例》附表1第2部第19(3)條的規定由該發展項目的認可人士證明，理由為其作為發展項目的認可人士之委任已自2013年8月2日起停止，而其現不就發展項目提供認可人士服務。

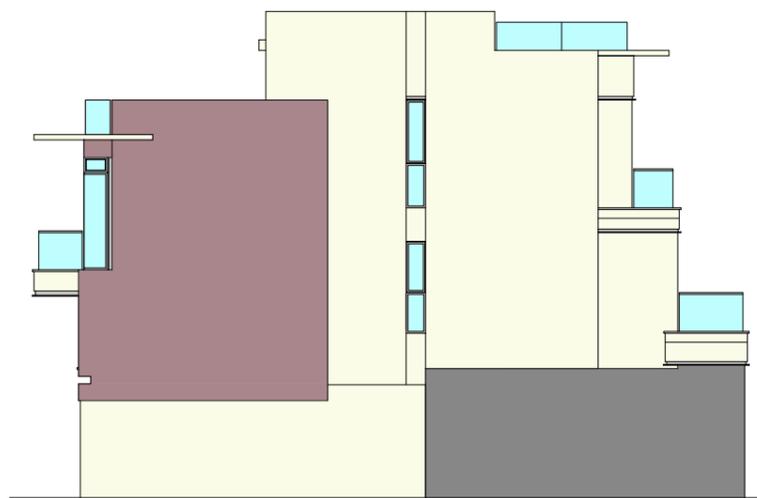
## HOUSE 3 3號洋房



ELEVATION PLAN A  
立面圖 A



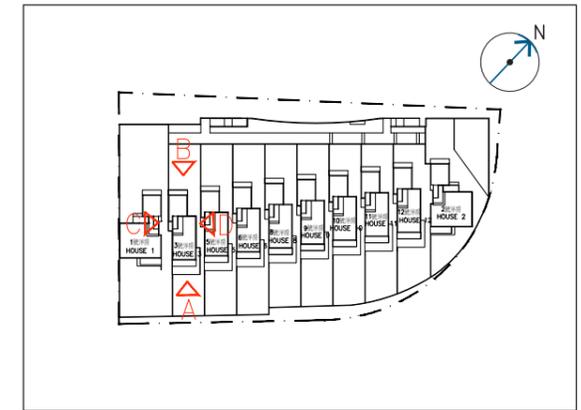
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

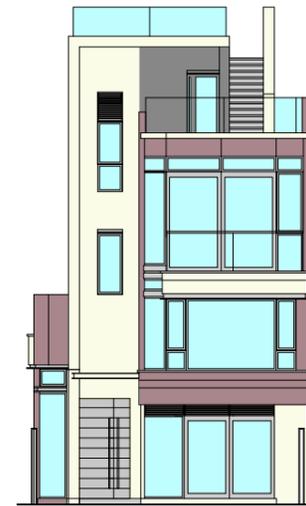
- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
- (b) 大致上與發展項目的外觀一致。

該圖則並無按照《一手住宅物業銷售條例》附表1第2部第19(3)條的規定由該發展項目的認可人士證明，理由為其作為發展項目的認可人士之委任已自2013年8月2日起停止，而其現不就發展項目提供認可人士服務。

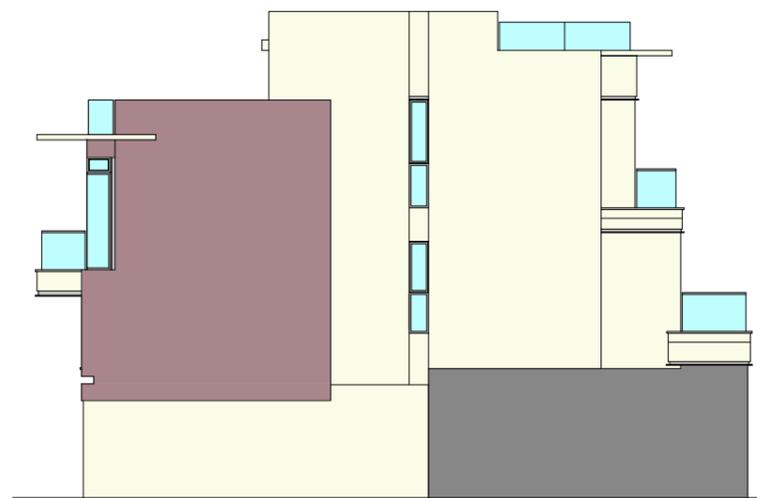
## HOUSE 5 5號洋房



ELEVATION PLAN A  
立面圖 A



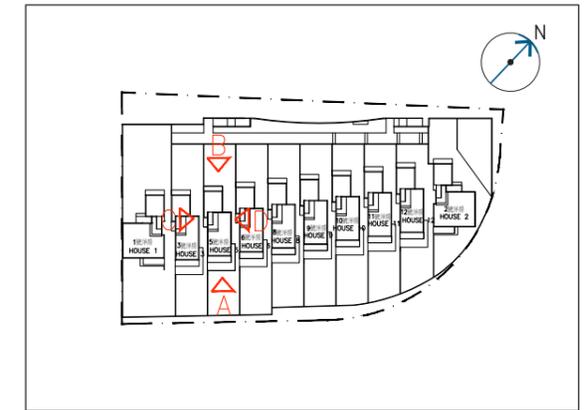
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

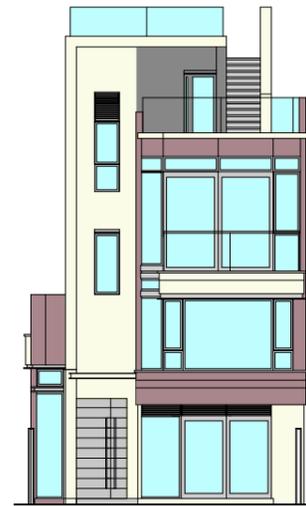
- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
- (b) 大致上與發展項目的外觀一致。

該圖則並無按照《一手住宅物業銷售條例》附表1第2部第19(3)條的規定由該發展項目的認可人士證明，理由為其作為發展項目的認可人士之委任已自2013年8月2日起停止，而其現不就發展項目提供認可人士服務。

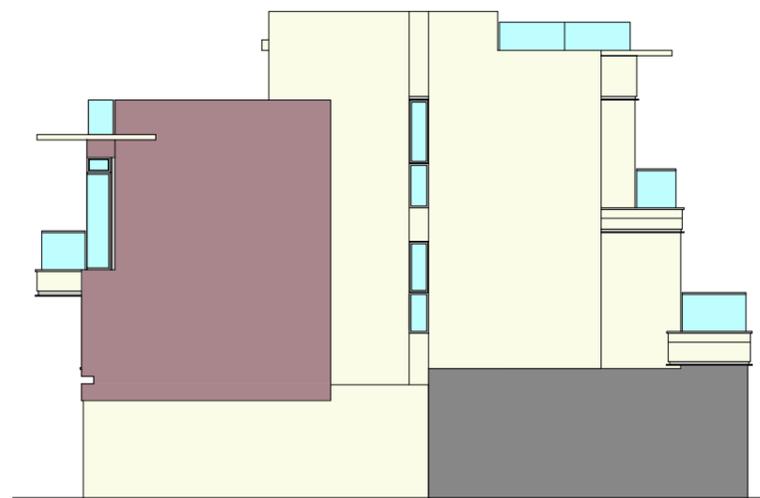
## HOUSE 6 6號洋房



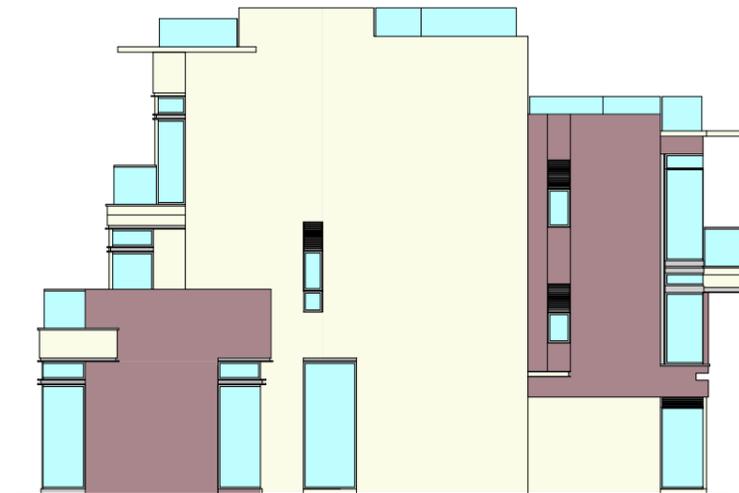
ELEVATION PLAN A  
立面圖 A



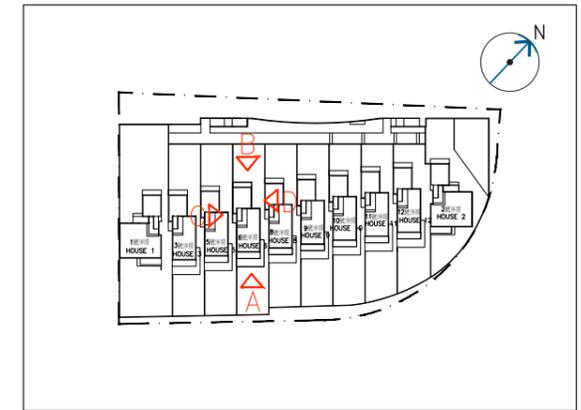
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

The above elevation plans:

- (a) are prepared on the basis of the approved building plans for the Development as at 18 February 2010; and
- (b) are in general accordance with the outward appearance of the Development.

The plans have not been certified by the Authorized Person for the Development as required under section 19(3) in Part 2 of Schedule 1 of the Residential Properties (First-hand Sales) Ordinance, the reason being his appointment as Authorized Person for the Development had ceased as from 2 August 2013 and he is currently not providing authorized person service in respect of the Development.

註：

該等立面圖：

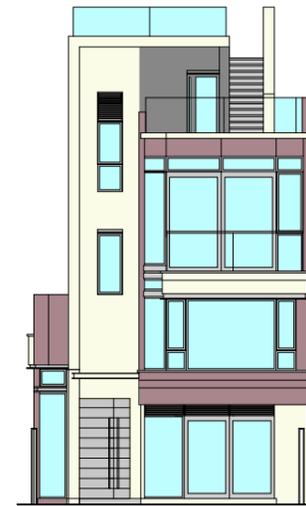
- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
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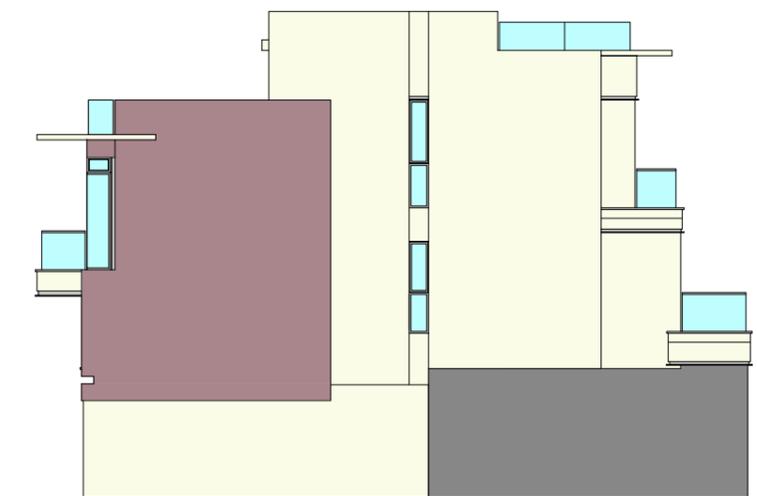
### HOUSE 8 8號洋房



ELEVATION PLAN A  
立面圖 A



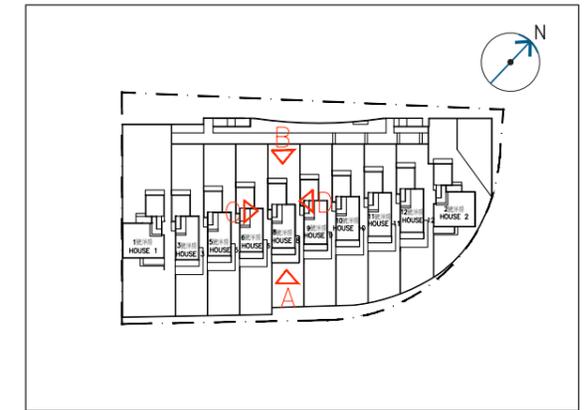
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

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註：

該等立面圖：

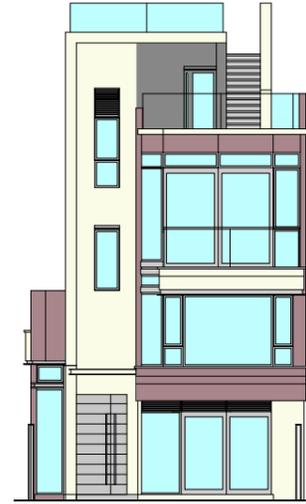
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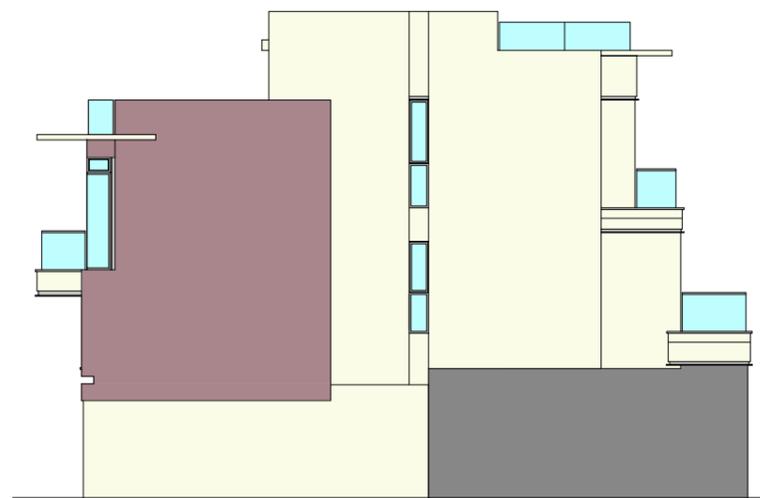
### HOUSE 9 9號洋房



ELEVATION PLAN A  
立面圖 A



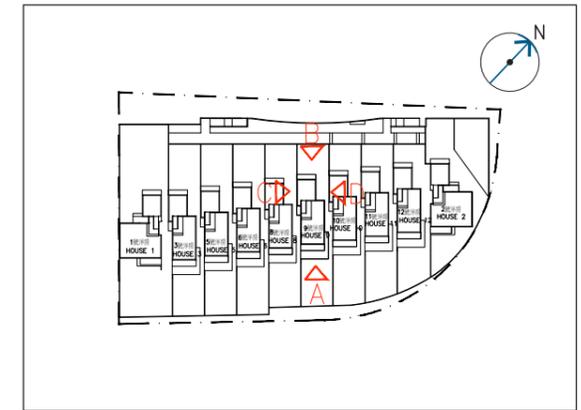
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

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註：

該等立面圖：

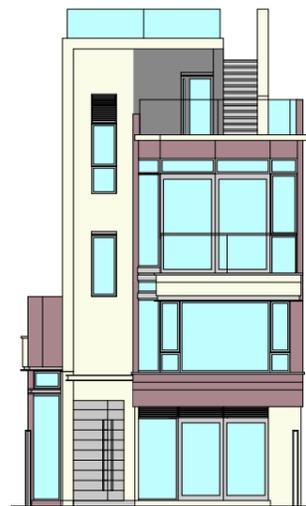
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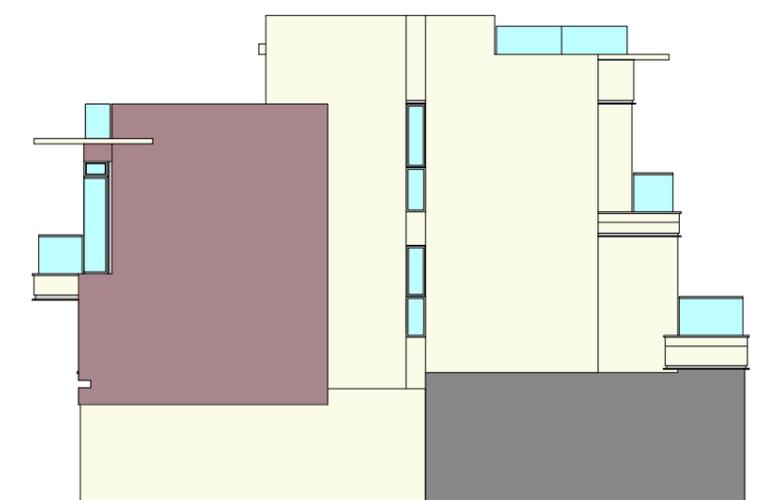
## HOUSE 10 10 號洋房



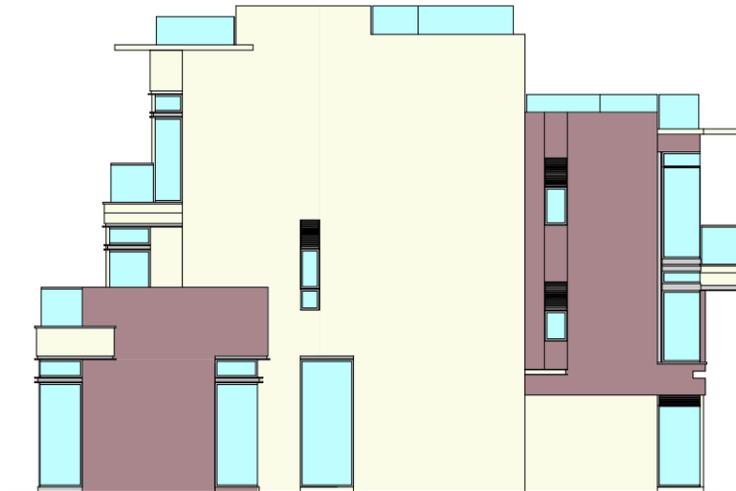
ELEVATION PLAN A  
立面圖 A



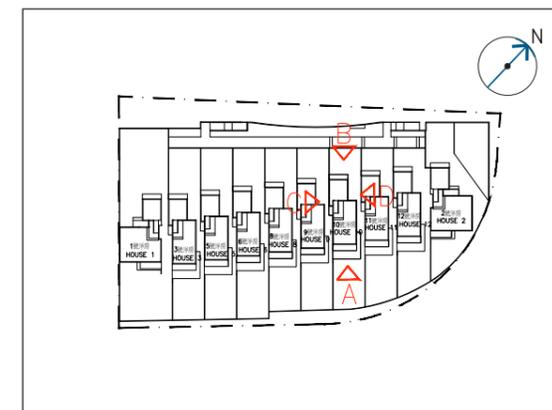
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

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註：

該等立面圖：

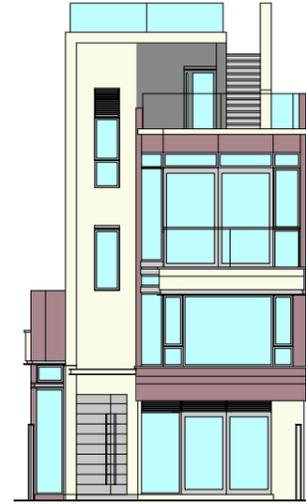
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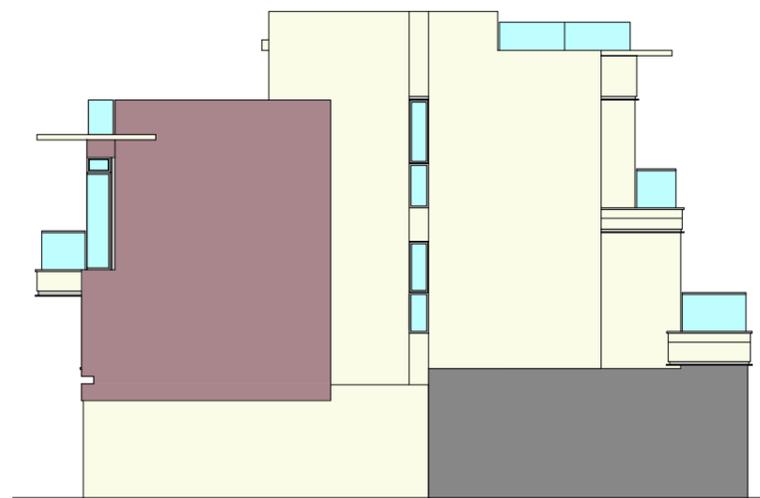
## HOUSE 11 11 號洋房



ELEVATION PLAN A  
立面圖 A



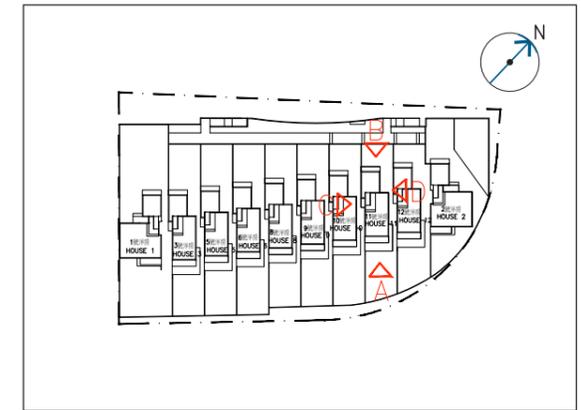
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

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註：

該等立面圖：

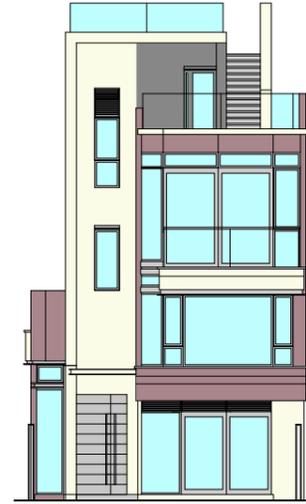
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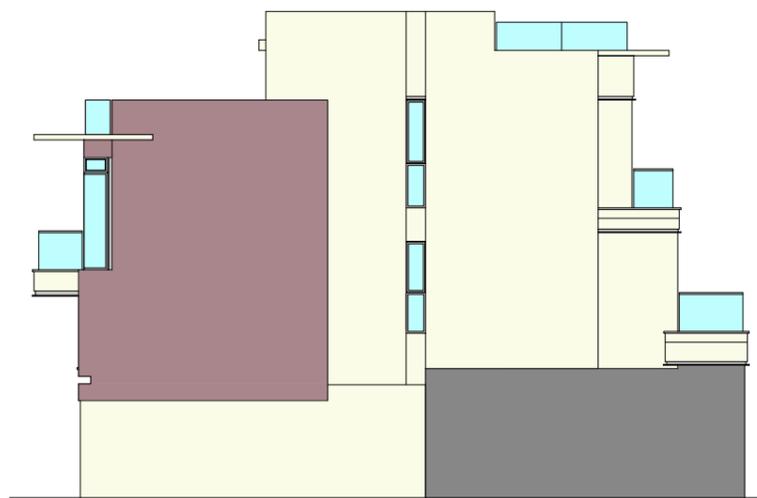
## HOUSE 12 12 號洋房



ELEVATION PLAN A  
立面圖 A



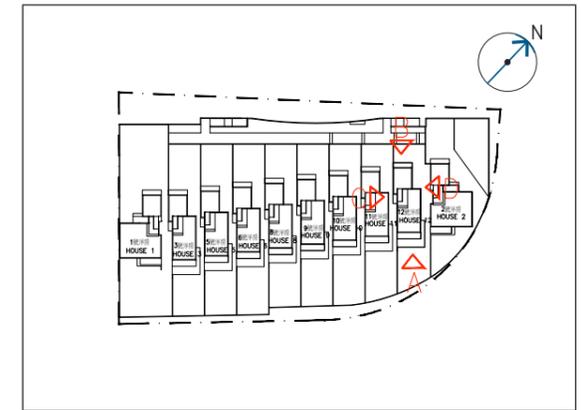
ELEVATION PLAN B  
立面圖 B



ELEVATION PLAN C  
立面圖 C



ELEVATION PLAN D  
立面圖 D



Key Plan 指示圖

Remark:

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該等立面圖：

- (a) 以2010年2月18日的情況為準的發展項目的經批准的建築圖則為基礎擬備；及
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# 21 INFORMATION ON COMMON FACILITIES IN THE DEVELOPMENT

## 發展項目中的公用設施的資料

Category of Common Facilities 公用設施類別	Covered 有上蓋遮		Uncovered 沒有上蓋遮	
	Area (sq. m.) 面積 (平方米)	Area (sq. ft.) 面積 (平方呎)	Area (sq. m.) 面積 (平方米)	Area (sq. ft.) 面積 (平方呎)
Residents' clubhouse (including any recreational facilities for residents' use) 住客會所(包括供住客使用的任何康樂設施)	141.181	1,520	-	-
Communal garden or play area for residents' use on the roof, or on any floor between the roof and the lowest residential floor, of a building in the Development (whether known as a communal sky garden or otherwise) 位於發展項目中的建築物的天台或在天台和最低一層住宅樓層之間的任何一層的、供住客使用的公用花園或遊樂地方(不論是稱為公用空中花園或有其他名稱)	-	-	-	-
Communal garden or play area for residents' use below the lowest residential floor of a building in the Development (whether known as a covered and landscaped play area or otherwise) 位於發展項目中的建築物的最低一層住宅樓層以下的、供住客使用的公用花園或遊樂地方(不論是稱為有蓋及園景的遊樂場或有其他名稱)	-	-	-	-

Notes:

Areas in square feet are converted at a rate of 1 square metre to 10.764 square feet and rounded to the nearest square foot.

備註：

以平方呎顯示之面積均依據1平方米=10.764平方呎換算，並四捨五入至整數。

## 22 INSPECTION OF PLANS AND DEED OF MUTUAL COVENANT

### 閱覽圖則及公契

1. The address of the website on which copy of the Outline Zoning Plans relating to the Development is available is: [www.ozp.tpb.gov.hk](http://www.ozp.tpb.gov.hk).
  - (a) A copy of every deed of mutual covenant in respect of the specified residential properties that has been executed is available for inspection at the place at which the specified residential property is offered to be sold.
  - (b) The inspection is free of charge.
1. 本發展項目的分區計劃大綱圖的文本供閱覽的互聯網網站的網址為 [www.ozp.tpb.gov.hk](http://www.ozp.tpb.gov.hk)。
  - (a) 指明住宅物業每一已簽立的公契的文本存放在發售指明住宅物業的地方，以供閱覽。
  - (b) 無須為閱覽付費。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 1, 2, 5, 6, 8 and 10 1、2、5、6、8及10號洋房

1. Exterior Finishes	
Item	Description
(a) External Wall	External wall is finished with natural stone cladding, aluminium cladding, aluminium louvre and aluminium grille. Garden fence wall is finished with natural stone panel.
(b) Window	Materials of the frame is fluorocarbon coated aluminium. Materials of the glass are tempered clear glass.
(c) Bay Window	Material of bay window is reinforced concrete. Window sill finishes is natural stone.
(d) Planter	Planter wall is finished with natural stone cladding.
(e) Verandah or Balcony	Balcony is fitted with tempered glass balustrade with aluminium capping. Floor is finished with artificial timber deck and natural stone finish surrounded the bottom of glass balustrade. Ceiling is fitted with aluminium grille in fluorocarbon coating. Balcony is covered. No verandah.
(f) Drying Facilities for Clothing	Not applicable.

2. Interior Finishes	
Item	Description
(a) Lobby	Please see remark.
(b) Internal Wall and Ceiling	Please see remark.
(c) Internal Floor	Please see remark.
(d) Bathroom	Please see remark.
(e) Kitchen	Please see remark.

**Remark:**

Each of these Houses is no longer owned by any vendor nor any associate corporation of any vendor. Each vendor and each holding company of any Vendor no longer keep the then information on interior fittings and finishes of that House when the owner thereof ceases to be a vendor and any associate corporation of any vendor.

1. 外部裝修物料	
細項	描述
(a) 外牆	外牆鋪砌天然石材飾板、鋁質金屬板、鋁質百葉及鋁質格柵。 花園分隔牆鋪砌天然石材飾板。
(b) 窗	窗框材料為氟碳塗層鋁。 玻璃材料為鋼化透明玻璃。
(c) 窗台	窗台材料為鋼筋混凝土。 窗台飾面為天然石材。
(d) 花槽	花槽牆鋪砌天然石材飾板。
(e) 露台或陽台	露台裝有鋼化玻璃欄杆及鋁質蓋頂。 地面鋪砌人造木地板及玻璃欄杆底部圍邊鋪砌天然石材。 天花裝設氟碳塗層鋁質格柵。 露台是有蓋的。 不設陽台。
(f) 乾衣設施	不適用。

2. 室內裝修物料	
細項	描述
(a) 大堂	見註。
(b) 內牆及天花板	見註。
(c) 內部地板	見註。
(d) 浴室	見註。
(e) 廚房	見註。

**註：**

每一該等洋房不再由任何賣方亦不再由任何賣方的任何有聯繫法團擁有。各賣方及其任何控權公司皆沒有保留該等洋房業主於終止屬任何賣方及任何賣方的任何有聯繫法團時的室內裝置及裝修物料的資料。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
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### House 1, 2, 5, 6, 8 and 10 1、2、5、6、8及10號洋房

3. Interior Fittings	
Item	Description
(a) Doors	Please see remark.
(b) Bathroom	Please see remark.
(c) Kitchen	Please see remark.
(d) Bedroom	Please see remark.
(e) Telephone	Please see remark.
(f) Aerials	Please see remark.
(g) Electrical Installations	Please see remark.
(h) Gas Supply	Please see remark.
(i) Washing Machine Connection Point	Please see remark.
(j) Water Supply	Please see remark.

3. 室內裝置	
細項	描述
(a) 門	見註。
(b) 浴室	見註。
(c) 廚房	見註。
(d) 睡房	見註。
(e) 電話	見註。
(f) 天線	見註。
(g) 電力裝置	見註。
(h) 氣體供應	見註。
(i) 洗衣機接駁點	見註。
(j) 供水	見註。

**Remark:**

Each of these Houses is no longer owned by any vendor nor any associate corporation of any vendor. Each vendor and each holding company of any Vendor no longer keep the then information on interior fittings and finishes of that House when the owner thereof ceases to be a vendor and any associate corporation of any vendor.

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# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
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### House 1, 2, 5, 6, 8 and 10 1、2、5、6、8及10號洋房

4. Miscellaneous	
Item	Description
(a) Lifts	Not applicable
(b) Letter Box	Fitted with stainless steel letter box fitted with natural stone panel.
(c) Refuse Collection	Refuse collection area provided in the common area on LG/F for collection of refuse by cleaners.
(d) Water Meter, Electricity Meter and Gas Meter	Individual water meter is installed in master water meter cabinet on LG/F. Individual electricity meter is installed in low voltage switch room on LG/F. Individual gas meter is installed above false ceiling on LG/F.

5. Security Facilities	
Item	Description
Security System and Equipment	CCTV system is provided along the boundary of the Development. Electric gate and CCTV system are provided at LG/F for the vehicle entrance gate of the Development. Electric door lock system is provided at LG/F for the pedestrian entrance gate of the Development. Video door phone and panic alarm are provided for the house.

6. Appliances	
Each of these Houses is no longer owned by any vendor nor any associate corporation of any vendor. Each vendor and each holding company of any Vendor no longer keep the then information on appliances of that House when the owner thereof ceases to be a vendor and any associate corporation of any vendor.	

4. 雜項	
細項	描述
(a) 升降機	不適用
(b) 信箱	每戶設有不銹鋼信箱配設有天然石飾面板。
(c) 垃圾收集	廢物收集處設置於低層地下的公用地方，由清潔工人收集。
(d) 水錶、電錶及氣體錶	獨立水錶設於低層地下總水錶房內。 獨立電錶設於低層地下低壓電錶房內。 獨立氣體錶設於低層地下假天花上。

5. 雜項	
細項	描述
保安系統及設備	發展項目外圍邊界裝設有閉路電視系統。 發展項目低層地下車閘入口裝設有電動大閘及閉路電視。 發展項目低層地下行人閘入口裝設有電子門鎖系統。 洋房裝設有視像對講系統及警報器。

6. 設備	
每一該等洋房不再由任何賣方亦不再由任何賣方的任何有聯繫法團擁有。各賣方及其任何控股公司皆沒有保留該等洋房業主於終止屬任何賣方及任何賣方的任何有聯繫法團時的設備的資料。	

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 3 3號洋房

1. Exterior Finishes	
Item	Description
(a) External Wall	External wall is finished with natural stone cladding, aluminium cladding, aluminium louvre and aluminium grille. Garden fence wall is finished with natural stone panel.
(b) Window	Materials of the frame is fluorocarbon coated aluminium. Materials of the glass are tempered glass.
(c) Bay Window	Material of bay window is reinforced concrete. Window sill finishes is timber veneer panel.
(d) Planter	Planter wall is finished with natural stone cladding.
(e) Verandah or Balcony	Balcony is fitted with tempered glass balustrade with aluminium capping. Floor is finished with artificial timber deck and natural stone finish surrounded the bottom of glass balustrade. Ceiling is fitted with aluminium grille in fluorocarbon coating. Balcony is covered. No verandah.
(f) Drying Facilities for Clothing	Not applicable.

1. 外部裝修物料	
細項	描述
(a) 外牆	外牆鋪砌天然石材飾板、鋁質金屬板、鋁質百葉及鋁質格柵。 花園分隔牆鋪砌天然石材飾板。
(b) 窗	框架材料為氟碳塗層鋁。 玻璃材料為鋼化玻璃。
(c) 窗台	窗台材料為鋼筋混凝土。 窗台飾面為木皮飾板。
(d) 花槽	花槽牆鋪砌天然石材飾板。
(e) 露台或陽台	露台裝有鋼化玻璃欄杆及鋁質金屬蓋頂。 地面鋪砌人造木地板及玻璃欄杆底部圍邊鋪砌天然石材。 天花裝設氟碳塗層鋁質格柵。 露台是有蓋的。 不設陽台。
(f) 乾衣設施	不適用。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

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### House 3 3號洋房

2. Interior Finishes	
Item	Description
(a) Lobby	Not applicable.
(b) Internal Wall and Ceiling	<p>Internal wall of Living Room and Dining Room are finished with emulsion paint, natural stone, timber veneer, mirror, vinyl leather, wallpaper and stainless steel trimming where exposed.</p> <p>Internal wall of Bedroom 1 is finished with timber veneer, mirror, wallpaper and stainless steel trimming where exposed.</p> <p>Internal wall of Bedroom 2 is finished with fabric panel, vinyl leather, wallpaper and stainless steel trimming where exposed.</p> <p>Internal wall of Bedroom 3 is finished with wallpaper, timber veneer and stainless steel trimming where exposed.</p> <p>Internal wall of Bedroom 4 is finished with timber veneer, mirror, fabric panel, wallpaper and stainless steel trimming where exposed.</p> <p>Ceiling of Living Room and Dining Room are finished with emulsion paint and fitted with gypsum board false ceiling finished with emulsion paint and finished with timber veneer, mirror, stainless steel trimming and decorative timber fins where exposed.</p> <p>Ceiling of Bedroom 1 are finished with emulsion paint and fitted with gypsum board false ceiling finished with emulsion paint and timber veneer with stainless steel trimming where exposed.</p> <p>Ceiling of Bedroom 2, 3 and 4 are finished with emulsion paint and fitted with gypsum board false ceiling finished with emulsion paint and timber veneer where exposed.</p>
(c) Internal Floor	<p>Living Room and Dining Room are finished with natural stone flooring, no skirting.</p> <p>Bedroom 1 is finished with carpet flooring with timber skirting.</p> <p>Bedroom 2 is finished with engineered timber flooring with timber skirting and natural stone border with stainless steel trimming along edge of floor adjoining to flat roof.</p> <p>Bedroom 3 is finished with carpet flooring with timber skirting and natural stone border with stainless steel trimming along edge of floor adjoining to balcony.</p> <p>Bedroom 4 is finished with carpet flooring with timber skirting and finished with engineered timber floor with stainless steel trimming and natural stone border with stainless steel trimming along edge of floor adjoining to flat roof.</p>

2. 室內裝修物料	
細項	描述
(a) 大堂	不適用。
(b) 內牆及天花板	<p>客廳和飯廳的內牆外露部分髹上乳膠漆，鋪砌天然石材、木皮、鏡、人造皮革、牆紙及不鏽鋼飾條。</p> <p>睡房1的內牆外露部分鋪砌木皮、鏡、牆紙及不鏽鋼飾條。</p> <p>睡房2的內牆外露部分鋪砌布料板、人造皮革、牆紙及不鏽鋼飾條。</p> <p>睡房3的內牆外露部分鋪砌牆紙、木皮及不鏽鋼飾條。</p> <p>睡房4的內牆外露部分鋪砌木皮、鏡、布料板、牆紙及不鏽鋼飾條。</p> <p>客廳和飯廳的天花板外露部分髹上乳膠漆，並裝設石膏板假天花，髹上乳膠漆，鋪砌木皮、鏡、不鏽鋼飾條及裝飾木條。</p> <p>睡房1的天花板外露部分髹上乳膠漆，並裝設石膏板假天花，髹上乳膠漆及木皮配不鏽鋼飾條。</p> <p>睡房2、3和4的天花板外露部分髹上乳膠漆，並裝設石膏板假天花，髹上乳膠漆及木皮。</p>
(c) 內部地板	<p>客廳和飯廳地板鋪砌天然石材，不設腳線。</p> <p>睡房1地板鋪砌地毯並配有木牆腳線。</p> <p>睡房2地板鋪砌複合木地板並配有木牆腳線及天然石材邊框，連接平台處的地台配有不鏽鋼飾條。</p> <p>睡房3地板鋪砌地毯並配有木牆腳線及天然石材邊框，連接露台處的地台配有不鏽鋼飾條。</p> <p>睡房4地板鋪砌地毯並配有木牆腳線及鋪砌複合木地板並配有不鏽鋼飾條及天然石材邊框，連接平台處的地台配有不鏽鋼飾條。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

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 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 3 3號洋房

2. Interior Finishes	
Item	Description
(d) Bathroom	<p><b>Bathroom 1</b>                      Wall is finished with natural stone where exposed up to false ceiling.                      Floor is finished with natural stone flooring where exposed.                      Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint where exposed.</p> <p><b>Bathroom 2</b>                      Wall is finished with natural stone, glass and stainless steel trimming where exposed up to false ceiling.                      Floor is finished with natural stone flooring where exposed.                      Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint and stainless steel framed mirror where exposed.</p> <p><b>Bathroom 3</b>                      Wall is finished with natural stone, glass and stainless steel trimming where exposed up to false ceiling.                      Floor is finished with natural stone flooring where exposed.                      Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint where exposed.</p> <p><b>Bathroom 4</b>                      Wall is finished with natural stone and glass with stainless steel trimming where exposed up to false ceiling.                      Floor is finished with natural stone flooring where exposed.                      Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint where exposed.</p>
(e) Kitchen	<p>Wall is fitted with stainless steel panel and finished with natural stone where exposed up to false ceiling.                      Floor is finished with natural stone where exposed.                      Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint and mirror panel where exposed.                      Cooking bench is finished with reconstituted stone.</p>

2. 室內裝修物料	
細項	描述
(d) 浴室	<p><b>浴室1</b>                      牆身外露部分鋪砌天然石材至假天花。                      地板外露部分鋪砌天然石材。                      天花裝設石膏板假天花，外露部分髹上乳膠漆。</p> <p><b>浴室2</b>                      牆身外露部分鋪砌天然石材、玻璃及不鏽鋼飾條至假天花。                      地板外露部分鋪砌天然石材。                      天花裝設石膏板假天花，外露部分髹上乳膠漆及不鏽鋼框鏡子。</p> <p><b>浴室3</b>                      牆身外露部分鋪砌天然石材、玻璃及不鏽鋼飾條至假天花。                      地板外露部分鋪砌天然石材。                      天花裝設石膏板假天花，外露部分髹上乳膠漆。</p> <p><b>浴室4</b>                      牆身外露部分鋪砌天然石材及玻璃配不鏽鋼飾條至假天花。                      地板外露部分鋪砌天然石材。                      天花裝設石膏板假天花，外露部分髹上乳膠漆。</p>
(e) 廚房	<p>牆身外露部分鋪砌不鏽鋼面板及天然石材至假天花。                      地板外露部分鋪砌天然石材。                      天花外露部分裝設石膏板假天花、髹上乳膠漆及配鏡飾面。                      灶台面採用人造石。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

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### House 3 3號洋房

3. Interior Fittings	
Item	Description
(a) Doors	<p><b>LG/F:</b></p> <p><b>Boiler Room Door to Carport</b> Timber veneer finished hollow core timber door fitted with door hinge, lockset and handle.</p> <p><b>Carport Door</b> Timber veneer finished solid core fire rated timber door fitted with door hinge, door closer, and lockset with handle.</p> <p><b>Staircase Door</b> Timber veneer finished solid core fire rated timber door fitted with door hinge, door closer, smoke door seal and handle.</p> <p><b>G/F:</b></p> <p><b>Garden Gate</b> Powder coated steel door with artificial timber plank fitted with lockset and handle.</p> <p><b>Kitchen Door to Garden</b> Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Kitchen Door to Dining Room</b> Stainless steel framed fire rated glass door with floor spring, handle and smoke seal.</p> <p><b>Living Room Door to Garden</b> Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Entrance Door</b> Stainless steel door finished with decorative glass panel fitted with smoke seal, lockset and handle.</p> <p><b>Lavatory Door</b> Timber veneer finished hollow core timber door with stainless steel trimming fitted with door hinge, hook, door stopper, lockset and handle.</p> <p><b>Pipe Duct Door</b> Steel framed door finished with natural stone fitted with door hinge and magnetic lock.</p> <p><b>Dining Room Door adjacent to Staircase</b> Timber veneer finished hollow core timber door with stainless steel trimming and mirror finish fitted with door hinge and magnetic lock.</p>

3. 室內裝置	
細項	描述
(a) 門	<p><b>低層地下：</b></p> <p><b>熱水爐房通往車庫門</b> 空心木門配以木皮飾面，裝妥門鉸、門鎖和手柄。</p> <p><b>車庫門</b> 實心防火木門配以木皮飾面，裝妥門鉸、氣鼓、門鎖及手柄。</p> <p><b>樓梯門</b> 實心防火木門配以木皮飾面，裝妥門鉸、氣鼓、防煙封條及手柄。</p> <p><b>地下：</b></p> <p><b>花園門</b> 粉末噴塗飾面鋼門，配以人造木板、裝妥門鎖和手柄。</p> <p><b>廚房通往花園門</b> 氟碳噴塗層鋁框玻璃趟門，裝妥門鎖和手柄。</p> <p><b>廚房通往飯廳門</b> 不鏽鋼框防火玻璃門，裝妥地鉸、手柄和防煙封條。</p> <p><b>客廳往花園門</b> 氟碳噴塗層鋁框玻璃趟門，裝妥門鎖和手柄。</p> <p><b>入口門</b> 不鏽鋼門配以裝飾玻璃板，配有防煙封條、門鎖和手柄。</p> <p><b>洗手間門</b> 空心木門配以木皮飾面及不鏽鋼飾條，裝妥門鉸、掛鉤、門擋、門鎖和手柄。</p> <p><b>管道門</b> 鋼框門，配有天然石材飾面，配有門鉸和磁石鎖。</p> <p><b>飯廳鄰近樓梯門</b> 空心木門配以木皮飾面、配有不鏽鋼飾條及鏡飾面，裝妥門鉸和磁石鎖。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

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### House 3 3號洋房

3. Interior Fittings	
Item	Description
(a) Doors	<p><b>1/F:</b></p> <p><b>Bedroom 1 and Bedroom 2 Door</b> Timber veneer and stainless steel trimming hollow core timber door fitted with door hinge, door closer, lockset and handle.</p> <p><b>Family Room Door</b> Stainless steel framed glass sliding door with hanging sliding door track.</p> <p><b>Bathroom 1 and Bathroom 2 Door</b> Glass door fitted with floor spring and handle.</p> <p><b>Pipe Duct Door</b> Stainless steel door fitted with door hinge and lockset.</p> <p><b>Flat Roof Door</b> Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>2/F:</b></p> <p><b>Bedroom 3 Door</b> Timber veneer and stainless steel trimming hollow core timber door fitted with door hinge, door closer, lockset and handle.</p> <p><b>Bedroom 4 Door</b> Timber veneer and stainless steel trimming hollow core timber door fitted with door hinge, door closer, door bolt, lockset and handle.</p> <p><b>Bathroom 3 Door</b> Glass door fitted with floor spring and handle.</p> <p><b>Bathroom 4 Door</b> Timber veneer finished with stainless steel trimming hollow core sliding timber door fitted with door track, lockset and handle.</p> <p><b>Pipe Duct Door</b> Stainless steel door fitted with stainless steel trimming, door hinge and handle.</p> <p><b>Balcony Door</b> Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Flat Roof Door</b> Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Staircase Door to Lower Flat Roof</b> Aluminium framed glass door in fluorocarbon coating fitted with door hinge, lockset and handle.</p>

3. 室內裝置	
細項	描述
(a) 門	<p><b>一樓：</b></p> <p><b>睡房1和睡房2門</b> 空心木門配以木皮飾面及不鏽鋼飾條，裝妥門鉸、氣鼓、門鎖和手柄。</p> <p><b>家庭室門</b> 不鏽鋼框玻璃趟門裝妥趟門吊路軌。</p> <p><b>浴室1和浴室2門</b> 玻璃門裝妥地鉸和手柄。</p> <p><b>管道門</b> 不鏽鋼門裝妥門鉸和門鎖。</p> <p><b>平台門</b> 氟碳噴塗層鋁框玻璃趟門，裝妥門鎖和手柄。</p> <p><b>二樓：</b></p> <p><b>睡房3門</b> 空心木門配以木皮飾面及不鏽鋼飾條，裝妥門鉸、氣鼓、門鎖和手柄。</p> <p><b>睡房4門</b> 空心木門配以木皮飾面及不鏽鋼飾條，裝妥門鉸、氣鼓、門栓、門鎖和手柄。</p> <p><b>浴室3門</b> 玻璃門裝妥地鉸和手柄。</p> <p><b>浴室4門</b> 空心木趟門配以木皮飾面及不鏽鋼飾條，裝妥門軌、門鎖和手柄。</p> <p><b>管道門</b> 不鏽鋼門配不鏽鋼飾條，裝妥門鉸和手柄。</p> <p><b>露台門</b> 氟碳噴塗層鋁框玻璃趟門，裝妥門鎖和手柄。</p> <p><b>平台門</b> 氟碳噴塗層鋁框玻璃趟門，裝妥門鎖和手柄。</p> <p><b>樓梯通往下層平台門</b> 氟碳噴塗層鋁框玻璃門，裝妥門鉸、門鎖和手柄。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

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### House 3 3號洋房

3. Interior Fittings	
Item	Description
(b) Bathroom	<p><b>Bathroom 1 (1/F)</b>                      Fitted with hanging mirror with stainless steel trimming, LED light feature and wood venetian blinds. Wooden lower cabinet with timber veneer, natural stone countertop with metallic handle and fittings include enameled press steel bathtub (1500 mmL x 700 mmW x 450 mmH) covered by stone and fitted with mirror finish, chrome plated bath mixer with chrome plated hand shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated paper roll holder, chrome plated towel bar and chrome plated towel ring.</p> <p><b>Bathroom 2 (1/F)</b>                      Fitted with decorated mirror with stainless steel trimming and wood venetian blinds. Wooden lower cabinet with mirror, natural stone countertop with metallic handle and fittings include tempered glass shower enclosure with metal handle and enameled press steel bathtub (1500 mmL x 750 mmW x 450 mmH) covered with stone and sided by mirror, chrome plated bath mixer with chrome plated hand shower set, chrome plated shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated towel bar and chrome plated paper roll holder.</p> <p><b>Bathroom 3 (2/F)</b>                      Fitted with hanging mirror with stainless steel trimming, LED light feature, and wood venetian blinds. Wooden lower cabinet with timber veneer, natural stone countertop, with metallic handle and fittings include tempered glass shower enclosure with metal handle, chrome plated shower mixer with chrome plated hand shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer and chrome plated paper roll holder.</p> <p><b>Bathroom 4 (2/F)</b>                      Fitted with hanging mirror with stainless steel trimming, LED light feature and wood venetian blinds. Wooden lower cabinet with timber veneer, natural stone countertop, metallic trimming, glass and stone ledge shelves and fittings include tempered glass shower enclosure with metal handle and enameled press steel bathtub (1800 mmL x 850 mmW x 500 mmH) covered and sided with stone, chrome plated bath mixer with chrome plated hand shower set, chrome plated shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated towel bar and chrome plated paper roll holder.</p> <p>*For details of type and material of water supply system, please refer to item (j) Water Supply.                      *For the brand names and model numbers of appliances, please refer to the “Appliances Schedules”</p>

3. 室內裝置	
細項	描述
(b) 浴室	<p><b>浴室1 (一樓) :</b>                      裝設包不鏽鋼飾邊的掛牆鏡，配有發光二極管裝飾並裝妥木百葉窗簾。木地櫃配木飾面、天然石材檯面和金屬手柄，配上搪瓷壓鋼浴缸(1500毫米長 x 700毫米寬 x 450毫米高)連石蓋配以鏡飾面、鍍鉻浴缸水龍頭配鍍鉻手持淋浴套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆水龍頭、鍍鉻紙巾架、鍍鉻毛巾桿和鍍鉻毛巾圈。</p> <p><b>浴室2 (一樓) :</b>                      裝設包不鏽鋼飾邊的裝飾鏡並裝妥木百葉窗簾。木地櫃配以鏡飾面，天然石材檯面和金屬手柄，配上帶金屬手柄的鋼化玻璃淋浴屏和搪瓷壓鋼浴缸(1500毫米長 x 750毫米寬 x 450毫米高)連石蓋配鏡飾面、鍍鉻浴缸水龍頭配鍍鉻手持淋浴套裝、鍍鉻淋浴套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆水龍頭、鍍鉻毛巾桿和鍍鉻紙巾架。</p> <p><b>浴室3 (二樓) :</b>                      裝設包不鏽鋼飾邊的掛牆鏡，配有發光二極管裝飾並裝妥木百葉窗簾。木地櫃配以木皮飾面，天然石材檯面和金屬手柄，配上帶金屬手柄的鋼化玻璃淋浴屏、鍍鉻淋浴水龍頭配鍍鉻手持淋浴套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆水龍頭和鍍鉻紙巾架。</p> <p><b>浴室4 (二樓) :</b>                      裝設包不鏽鋼飾邊的掛牆鏡，配有發光二極管裝飾並裝妥木百葉窗簾。木地櫃配以木皮飾面，天然石材檯面和金屬飾邊，玻璃和石材層架，配上帶金屬手柄的鋼化玻璃淋浴屏和搪瓷壓鋼浴缸(1800毫米長 x 850毫米寬 x 500毫米高)連石蓋及石飾面、鍍鉻浴缸水龍頭配鍍鉻手持淋浴套裝、鍍鉻淋浴套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆水龍頭、鍍鉻毛巾桿和鍍鉻紙巾架。</p> <p>*有關供水系統的類型和材料的詳細信息，請參考(j)「供水」一欄。                      *有關設備的品牌名稱和型號，請參閱「設備說明表」。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 3 3號洋房

3. Interior Fittings	
Item	Description
(c) Kitchen	Fitted with wooden kitchen cabinet with metal skirting, door panels finished with plastic laminate and glass panel, fitted with reconstituted stone countertop, chrome plated sink mixer and motorized plastic roller blinds. *For details of type and material of water supply system, please refer to item (j) Water Supply. *For the brand names and model numbers of appliances, please refer to the “Appliances Schedules”.
(d) Bedroom	Bedroom 1 fitted with wooden shelves with stainless steel trimming, mirror panel and downlight feature, wooden cabinet with wood veneer, wooden desk with plastic laminate and stainless steel trimming, wooden wardrobe with stainless steel framed mirror panel door and LED light feature. Bedroom 2 fitted with glass shelves with stainless steel trimming and LED light feature, wooden cabinet finished with timber veneer, plastic laminate and stainless steel trimming, wooden wardrobe with stainless steel framed glass door and LED light feature. Bedroom 3 fitted with glass and wooden shelves with stainless steel trimming, wallpaper, mirror panel, wooden drawer, wooden cabinet, wooden wardrobe with stainless steel framed glass door and LED light feature. Bedroom 4 fitted with glass shelves with stainless steel trimming and mirror panel, wooden cabinet finished with timber veneer, plastic laminate, mirror, natural stone and stainless steel trimming, wooden desk with natural stone with stainless steel trimming, wooden wardrobe with stainless steel framed glass door and LED light feature. Bedroom 1 is fitted with motorized curtain track and fabric curtain. Bedroom 2, 3 and 4 are fitted with motorized curtain track and fabric curtain and sheer.
(e) Telephone	Telephone outlet boxes are fitted in living room, dining room and bedrooms. For the location and number of connection points, please refer to the “Schedule of Mechanical & Electrical Provisions”.
(f) Aerials	Communal TV and FM outlets are fitted in living room, dining room and bedrooms. For the location and number of connection points, please refer to the “Schedule of Mechanical & Electrical Provisions”.
(g) Electrical Installations	Concealed conduit wiring with lighting and power points are fitted (Three phase electricity supply with miniature circuit breakers distribution boards are provided). For the location and number of power points and air-conditioner points, please refer to the “Schedule of Mechanical & Electrical Provisions”
(h) Gas Supply	Gas pipes are provided and connected to gas burner and water heater. For the location of connection points, please refer to the “Schedule of Mechanical & Electrical Provisions”

3. 室內裝置	
細項	描述
(c) 廚房	配有木製廚櫃連金屬腳線，櫃門飾面配以膠板和玻璃飾面；配有人造石檯面、鍍鉻洗滌盆水龍頭和電動膠捲簾。 *供水系統的類型及用料參考(j)「供水」一欄。 *有關設備的品牌名稱及產品型號，請參閱「設備說明表」。
(d) 睡房	睡房1裝設木製層架配不鏽鋼飾邊和鏡飾面板並裝妥射燈功能，木製櫃配以木皮飾面、木製書桌配以膠板飾面和不鏽鋼飾邊的，木製衣櫃配以包不鏽鋼框的鏡飾面門板，並裝妥發光二極管裝飾。 睡房2裝設帶不鏽鋼飾邊的玻璃層架配以發光二極管裝飾，木製櫃配以木皮飾面、膠板飾面和不鏽鋼飾邊，木製衣櫃配以包不鏽鋼框的玻璃門板，並裝妥發光二極管裝飾。 睡房3裝設玻璃和木製層架配不鏽鋼飾邊，牆紙和鏡飾面板，木製抽屜櫃，木製櫃和木製衣櫃配以包不鏽鋼框的玻璃門板，並裝妥發光二極管裝飾。 睡房4裝設玻璃層架配不鏽鋼飾邊和鏡飾面板，木製櫃配以木皮飾面、膠板、鏡、天然石材和不鏽鋼飾邊，木製書桌配天然石材和不鏽鋼飾邊，木製衣櫃配以包不鏽鋼框的玻璃門板，並裝妥發光二極管裝飾。 睡房1配有電動窗簾軌道和布窗簾。 睡房2、3及4均配有電動窗簾軌道、布窗簾和紗簾。
(e) 電話	客廳、飯廳及睡房均裝有電話插座。 有關接駁點的位置及數目，請參考「機電裝置數目表」。
(f) 天線	客廳、飯廳及睡房均裝有電視及電台天線座。 有關接駁點的位置及數目，請參考「機電裝置數目表」。
(g) 電力裝置	裝置入牆暗線燈位及插座(提供三相電力供電並備有配電箱及斷路器)。 有關電插座及空調機接駁點的位置及數目，請參考「機電裝置數目表」。
(h) 氣體供應	裝妥煤氣喉接駁煮食爐及熱水爐。 有關接駁點的位置，請參考「機電裝置數目表」。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 3 3號洋房

3. Interior Fittings	
Item	Description
(i) Washing Machine Connection Point	Water inlet and outlet are provided for washing machine. Water point of a design of 20mm in diameter and drain point of a design of 40mm in diameter are provided for washing machine. For the location of connection points, please refer to the “Schedule of Mechanical & Electrical Provisions”.
(j) Water Supply	PVC coated copper pipes are provided. Water pipes are partly concealed and partly exposed. There is hot water supply in kitchen, bathrooms and lavatory.

4. Miscellaneous	
Item	Description
(a) Lifts	Not applicable
(b) Letter Box	Fitted with stainless steel letter box fitted with natural stone panel.
(c) Refuse Collection	Refuse collection area provided in the common area on LG/F for collection of refuse by cleaners.
(d) Water Meter, Electricity Meter and Gas Meter	Individual water meter is installed in master water meter cabinet on LG/F. Individual electricity meter is installed in low voltage switch room on LG/F. Individual gas meter is installed above false ceiling on LG/F.

5. Security Facilities	
Item	Description
Security System and Equipment	CCTV system is provided along the boundary of the Development. Electric gate and CCTV system are provided at LG/F for the vehicle entrance gate of the Development. Electric door lock system is provided at LG/F for the pedestrian entrance gate of the Development. Video door phone and panic alarm are provided for the house.

6. Appliances	
For brand names and model number of appliances, please refer to “Appliances Schedule”.	

3. 室內裝置	
細項	描述
(i) 洗衣機接駁點	洗衣機均設有來去水接駁點。 洗衣機位置均設有直徑20毫米來水位及直徑40毫米去水位。 有關接駁點的位置，請參考「機電裝置數目表」。
(j) 供水	裝妥有膠層保護之銅喉水喉管。 水喉管部份隱藏及部份外露。 廚房、浴室及洗手間均有熱水供應。

4. 雜項	
細項	描述
(a) 升降機	不適用
(b) 信箱	每戶設有不銹鋼信箱配設有天然石飾面板。
(c) 垃圾收集	廢物收集處設置於低層地下的公用地方，由清潔工人收集。
(d) 水錶、電錶及氣體錶	獨立水錶設於低層地下總水錶房內。 獨立電錶設於低層地下低壓電錶房內。 獨立氣體錶設於低層地下假天花上。

5. 雜項	
細項	描述
保安系統及設備	發展項目外圍邊界裝設有閉路電視系統。 發展項目低層地下車閘入口裝設有電動大閘及閉路電視。 發展項目低層地下行人閘入口裝設有電子門鎖系統。 洋房裝設有視像對講系統及警報器。

6. 設備	
設備品牌名稱及產品型號，請參考「設備說明表」。	

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

1. Exterior Finishes	
Item	Description
(a) External Wall	External wall is finished with natural stone cladding, aluminium cladding, aluminium louvre and aluminium grille. Garden fence wall is finished with natural stone panel.
(b) Window	Materials of the frame is fluorocarbon coated aluminium. Materials of the glass are tempered clear glass.
(c) Bay Window	Material of bay window is reinforced concrete. Window sill finishes is natural stone.
(d) Planter	Planter wall is finished with natural stone cladding.
(e) Verandah or Balcony	Balcony is fitted with tempered glass balustrade with aluminium capping. Floor is finished with artificial timber deck and natural stone finish surrounded the bottom of glass balustrade. Ceiling is fitted with aluminium grille in fluorocarbon coating. Balcony is covered. No verandah.
(f) Drying Facilities for Clothing	Not applicable.

1. 外部裝修物料	
細項	描述
(a) 外牆	外牆鋪砌天然石材飾板、鋁質金屬板、鋁質百葉及鋁質格柵。 花園分隔牆鋪砌天然石材飾板。
(b) 窗	框架材料為氟碳塗層鋁。 玻璃材料為鋼化透明玻璃。
(c) 窗台	窗台材料為鋼筋混凝土。 窗台飾面為天然石材。
(d) 花槽	花槽牆鋪砌天然石材飾板。
(e) 露台或陽台	露台裝有鋼化玻璃欄杆及鋁質金屬蓋頂。 地面鋪砌人造木地板及玻璃欄杆底部圍邊鋪砌天然石材。 天花裝設氟碳塗層鋁質格柵。 露台是有蓋的。 不設陽台。
(f) 乾衣設施	不適用。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

2. Interior Finishes	
Item	Description
(a) Lobby	Not applicable.
(b) Internal Wall and Ceiling	Internal wall of Living Room and Dining Room are finished with emulsion paint where exposed. Internal wall of Bedrooms 1, 2, 3 and 4 are finished with emulsion paint where exposed. Ceiling of Living Room and Dining Room are finished with emulsion paint and fitted with gypsum board false ceiling finished with emulsion paint where exposed. Ceiling of Bedrooms 1, 2, 3 and 4 are finished with emulsion paint and fitted with gypsum board false ceiling finished with emulsion paint where exposed.
(c) Internal Floor	Living Room and Dining Room are finished with natural stone flooring with natural stone skirting. Bedroom 1 is finished with stone flooring with timber skirting and finished with engineering timber flooring with timber skirting and stainless steel trimming. Bedrooms 2 and 4 are finished with stone flooring with timber skirting and finished with engineering timber flooring with timber skirting and stainless steel trimming, and natural stone border with stainless steel trimming along edge of floor adjoining to flat roof. Bedroom 3 is finished with stone flooring with timber skirting and finished with engineering timber flooring with timber skirting and stainless steel trimming, and natural stone border with stainless steel trimming along edge of floor adjoining to balcony.
(d) Bathroom	<b>Bathrooms 1, 2, 3 and 4</b> Wall is finished with natural stone where exposed up to false ceiling. Floor is finished with natural stone flooring where exposed. Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint where exposed.
(e) Kitchen	Wall is fitted with stainless steel panel and finished with natural stone where exposed up to false ceiling. Floor is finished with natural stone where exposed. Ceiling is fitted with gypsum board false ceiling and finished with emulsion paint where exposed. Cooking bench is finished with reconstituted stone.

2. 室內裝修物料	
細項	描述
(a) 大堂	不適用。
(b) 內牆及天花板	客廳和飯廳的內牆外露部分髹上乳膠漆。 睡房1、2、3和4的內牆外露部分髹上乳膠漆。 客廳和飯廳的天花板外露部分髹上乳膠漆，並裝設石膏板假天花，外露部分髹上乳膠漆。 睡房1、2、3和4的天花板外露部分髹上乳膠漆，並裝設石膏板假天花，外露部分髹上乳膠漆。
(c) 內部地板	客廳和飯廳地板鋪砌天然石材並配有天然石材牆腳線。 睡房1地板鋪砌石材配有木牆腳線，並鋪砌複合木地板配有木牆腳線及不鏽鋼飾條。 睡房2和睡房4地板鋪砌石材配有木牆腳線，並鋪砌複合木地板配有木牆腳線及不鏽鋼飾條，連接平台處的地台配有天然石材邊框及不鏽鋼飾條。 睡房3地板鋪砌石材配有木牆腳線，並鋪砌複合木地板配有木牆腳線及不鏽鋼飾條，連接露台處的地台配有天然石材邊框及不鏽鋼飾條。
(d) 浴室	<b>浴室1、2、3和4</b> 牆身外露部分鋪砌天然石材至假天花。 地板外露部分鋪砌天然石材。 天花裝設石膏板假天花，外露部分髹上乳膠漆。
(e) 廚房	牆身外露部分鋪砌不鏽鋼板及天然石材至假天花。 地板外露部分鋪砌天然石材。 天花裝設石膏板假天花，外露部分髹上乳膠漆。 灶台面採用人造石。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

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 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

3. Interior Fittings	
Item	Description
(a) Doors	<p><b>LG/F:</b></p> <p><b>Boiler Room Door to Carport</b>                      Timber veneer finished hollow core timber door fitted with door hinge, door closer, lockset and handle.</p> <p><b>Carport Door</b>                      Timber veneer finished solid core fire rated timber door fitted with door hinge and lockset with handle.</p> <p><b>Staircase Door</b>                      Timber veneer finishes solid core fire rated timber door fitted with clear glass, metallic framed vinyl leather panel, door hinge, door closer, smoke door seal and handle.</p> <p><b>G/F:</b></p> <p><b>Garden Gate</b>                      Powder coated steel door framed with artificial timber fitted with lockset and handle.</p> <p><b>Kitchen Door to Garden</b>                      Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Kitchen Door to Dining Room</b>                      Timber veneer finished solid core fire rated timber door fitted with clear glass, metallic framed vinyl leather panel, door hinge, door closer, door seal and handle.</p> <p><b>Living Room Door to Garden</b>                      Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Entrance Door</b>                      Stainless steel door finished fitted with glass panels, lockset and handle.</p> <p><b>Lavatory Door</b>                      Timber veneer finished hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, lockset and handle.</p> <p><b>Hose Reel Door</b>                      Timber veneer hollow core timber door fitted with metallic framed vinyl leather panel, door hinge and handle.</p> <p><b>Dining Room Door adjacent to Staircase</b>                      Timber veneer finished hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door closer and handle.</p>

3. 室內裝置	
細項	描述
(a) 門	<p><b>低層地下：</b></p> <p><b>熱水爐房門通向車庫</b>                      空心木門配以木皮飾面，裝妥門鉸、氣鼓、門鎖和手柄。</p> <p><b>車庫門</b>                      實心防火木門配以木皮飾面，裝妥門鉸和門鎖連手柄。</p> <p><b>樓梯門</b>                      實心防火木門配以木皮飾面，門身鑲有清玻璃及有金屬框的人造皮革面板，裝妥門鉸、氣鼓、煙霧門封條和手柄。</p> <p><b>地下：</b></p> <p><b>花園門</b>                      粉末噴塗飾面鋼門，配以人造木板，裝妥門鎖和手柄。</p> <p><b>廚房門通向花園</b>                      氟碳噴塗層鋁質框玻璃趟門裝妥門鎖及手柄。</p> <p><b>廚房門通向飯廳</b>                      實心防火木門配以木皮飾面、門身鑲有清玻璃及有金屬框的人造皮革面板，裝妥門鉸、氣鼓、門封條和手柄。</p> <p><b>客廳門通向花園</b>                      氟碳噴塗層鋁質框玻璃趟門裝妥門鎖及手柄。</p> <p><b>入口門</b>                      不銹鋼門配以玻璃飾面，裝妥門鎖和手柄。</p> <p><b>洗手間門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、門鎖和手柄。</p> <p><b>消防喉轆門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸和手柄。</p> <p><b>飯廳鄰近樓梯門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、氣鼓和手柄。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

3. Interior Fittings	
Item	Description
(a) Doors	<p><b>1/F:</b></p> <p><b>Bedroom 1 and Bedroom 2 Door</b>                      Timber veneer finished hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, lockset and handle.</p> <p><b>Family Room Door</b>                      Timber veneer finished hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, lockset and handle.</p> <p><b>Bathroom 1 Door</b>                      Timber veneer finished hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, lockset and handle.</p> <p><b>Bathroom 2 Door</b>                      Timber veneer finished hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, stainless steel hook, lockset and handle.</p> <p><b>Pipe Duct Door</b>                      Steel framed door finished with timber veneer fitted with door hinge and magnetic lock.</p> <p><b>Flat Roof Door</b>                      Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>2/F:</b></p> <p><b>Bedroom 3 and Bedroom 4 Door</b>                      Timber veneer hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, lockset and handle.</p> <p><b>Bathroom 3 Door</b>                      Timber veneer hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, lockset and handle.</p> <p><b>Bathroom 4 Door</b>                      Timber veneer hollow core timber door fitted with metallic framed vinyl leather panel, door hinge, door stopper, stainless steel hook, lockset and handle.</p> <p><b>Pipe Duct Door</b>                      Steel framed door finished with timber veneer fitted with door hinge and magnetic lock.</p> <p><b>Balcony Door</b>                      Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Flat Roof Door</b>                      Aluminium framed sliding glass door in fluorocarbon coating fitted with lockset and handle.</p> <p><b>Staircase Door to Lower Flat Roof</b>                      Aluminium framed glass door in fluorocarbon coating fitted with door hinge, lockset and handle.</p>

3. 室內裝置	
細項	描述
(a) 門	<p><b>一樓：</b></p> <p><b>睡房1和睡房2門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、門鎖和手柄。</p> <p><b>家庭室門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、門鎖和手柄。</p> <p><b>浴室1門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、門鎖和手柄。</p> <p><b>浴室2門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、不銹鋼掛鉤、門鎖和手柄。</p> <p><b>管道門</b>                      鋼框門配木皮飾面，裝妥門鉸和磁石鎖。</p> <p><b>平台門</b>                      氟碳噴塗層鋁質框玻璃趟門裝妥門鎖及手柄。</p> <p><b>二樓：</b></p> <p><b>睡房3和睡房4門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、門鎖和手柄。</p> <p><b>浴室3門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、門鎖和手柄。</p> <p><b>浴室4門</b>                      空心木門配以木皮飾面及有金屬框的人造皮革面板，裝妥門鉸、門擋、不銹鋼掛鉤、門鎖和手柄。</p> <p><b>管道門</b>                      鋼框門，配木皮飾面，裝妥門鉸和磁石鎖。</p> <p><b>露台門</b>                      氟碳噴塗層鋁質框玻璃趟門裝妥門鎖及手柄。</p> <p><b>平台門</b>                      氟碳噴塗層鋁質框玻璃趟門裝妥門鎖及手柄。</p> <p><b>樓梯通向下層平台門</b>                      氟碳噴塗層鋁質框玻璃門，裝妥門鉸、門鎖和手柄。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

3. Interior Fittings	
Item	Description
(b) Bathroom	<p><b>Bathroom 1 (1/F)</b>                      (Only applicable for House 9 and House 11)                      Fitted with mirror cabinet with LED light feature and plastic roller blind. Wooden lower cabinet with timber veneer, natural stone countertop, metallic trimming with metallic handle and sanitary wares and fittings include tempered glass shower enclosure with metallic handle and enameled press steel bathtub (1500 mmL x 700 mmW x 400 mmH), chrome plated shower mixer with chrome plated hand shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated paper roll holder stainless steel hook and chrome plated towel bar.</p> <p>(Only applicable for House 12)                      Fitted with mirror cabinet with LED light feature and plastic roller blind. Wooden lower cabinet with timber veneer, natural stone countertop, metallic trimming with metallic handle and sanitary wares and fittings include tempered glass shower enclosure with metallic handle, chrome plated shower mixer with chrome plated hand shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated paper roll holder, stainless steel hook and chrome plated towel bar.</p> <p><b>Bathroom 2 (1/F)</b>                      Fitted with mirror cabinet with LED light feature and plastic roller blind. Wooden lower cabinet with timber veneer, natural stone countertop, metallic trimming with metallic handle and sanitary wares and fittings include tempered glass shower enclosure with metallic handle and enameled press steel bathtub (1500 mmL x 700 mmW x 400 mmH) covered and sided with stone, chrome plated bath mixer with chrome plated hand shower set, chrome plated shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated paper roll holder, stainless steel hook and chrome plated towel bar.</p> <p><b>Bathroom 3 (2/F)</b>                      Fitted with mirror cabinet with LED light feature and plastic roller blind. Wooden lower cabinet with timber veneer, natural stone countertop, metallic trimming with metallic handle and sanitary wares and fittings include tempered glass shower enclosure with metal handle, chrome plated shower mixer with chrome plated hand shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated paper roll holder, stainless steel hook and chrome plated towel bar.</p> <p><b>Bathroom 4 (2/F)</b>                      Fitted with mirror cabinet with LED light feature and plastic roller blinds. Wooden lower cabinet with timber veneer, natural stone countertop, metallic trimming with metallic handle, and stone ledge shelves and sanitary wares and fittings include tempered glass shower enclosure with metal handle and enameled press steel bathtub (1600 mmL x 700 mmW x 450 mmH) covered and sided with stone, chrome plated bath mixer with chrome plated hand shower set, chrome plated shower set, vitreous china water closet, ceramic basin, chrome plated basin mixer, chrome plated towel bar and chrome plated paper roll holder.</p> <p>*For details of type and material of water supply system, please refer to item (j) Water Supply.                      *For the brand names and model numbers of appliances, please refer to the “Appliances Schedules”</p>

3. 室內裝置	
細項	描述
(b) 浴室	<p><b>浴室1 (一樓) :</b>                      (只適用9號洋房及11號洋房)                      裝設配有發光二極管裝飾的鏡櫃並裝妥膠捲簾。木地櫃配木飾面、天然石材檯面、金屬飾條和金屬手柄，配上鋼化玻璃浴屏連金屬手柄和搪瓷壓鋼浴缸(1500毫米長 x 700毫米寬 x 400毫米高)、鍍鉻淋浴龍頭和鍍鉻手持花灑套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆龍頭、鍍鉻紙巾架、不銹鋼掛鉤及鍍鉻毛巾桿。</p> <p>(只適用12號洋房)                      裝設配有發光二極管裝飾的鏡櫃並裝妥膠捲簾。木地櫃配木飾面、天然石材檯面、金屬飾條和金屬手柄，配上鋼化玻璃浴屏連金屬手柄、鍍鉻淋浴龍頭和鍍鉻手持花灑套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆龍頭、鍍鉻紙巾架、不銹鋼掛鉤及鍍鉻毛巾桿。</p> <p><b>浴室2 (一樓) :</b>                      裝設配有發光二極管裝飾的鏡櫃並裝妥膠捲簾。木地櫃配木飾面、天然石材檯面、金屬飾條和金屬手柄，配上鋼化玻璃浴屏連金屬手柄和搪瓷壓鋼浴缸(1500毫米長 x 700毫米寬 x 400毫米高)連石蓋及石飾面、鍍鉻浴缸龍頭和鍍鉻手持花灑套裝、鍍鉻淋浴套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆龍頭、鍍鉻毛巾桿和鍍鉻紙巾架。</p> <p><b>浴室3 (二樓) :</b>                      裝設配有發光二極管裝飾的鏡櫃並裝妥膠捲簾。木地櫃配木飾面、天然石材檯面、金屬飾條和金屬手柄，配上帶金屬手柄的鋼化玻璃淋浴屏、鍍鉻淋浴龍頭和鍍鉻手持花灑套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆龍頭、鍍鉻紙巾架、不銹鋼掛鉤及鍍鉻毛巾桿。</p> <p><b>浴室4 (二樓) :</b>                      裝設配有發光二極管裝飾的鏡櫃並裝妥膠捲簾。木地櫃配木飾面、天然石材檯面、金屬飾條和金屬手柄和石材層架，配上帶金屬手柄的鋼化玻璃淋浴屏和搪瓷壓鋼浴缸(1600毫米長 x 700毫米寬 x 450毫米高)連石蓋及石飾面、鍍鉻浴缸龍頭和鍍鉻手持花灑套裝、鍍鉻淋浴套裝、搪瓷坐廁、陶瓷洗手盆、鍍鉻洗手盆龍頭、鍍鉻毛巾桿和鍍鉻紙巾架。</p> <p>*有關供水系統的類型和材料的詳細信息，請參考(j)「供水」一欄。                      *有關設備的品牌名稱和型號，請參閱「設備說明表」。</p>

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

3. Interior Fittings	
Item	Description
(c) Kitchen	Fitted with wooden kitchen cabinet with door panels finished with plastic laminate and lacquer paint; fitted with reconstituted stone countertop, chrome plated sink mixer and electric plastic roller blind. *For details of type and material of water supply system, please refer to item (j) Water Supply. *For the brand names and model numbers of appliances, please refer to the "Appliances Schedules".
(d) Bedroom	Bedrooms 1, 2, 3 and 4 fitted with wooden wardrobe with metallic trimming. All bedrooms are fitted with motorized curtain track and fabric curtain.
(e) Telephone	Telephone outlet boxes are fitted in living room, dining room and bedrooms. For the location and number of connection points, please refer to the "Schedule of Mechanical & Electrical Provisions".
(f) Aerials	Communal TV and FM outlets are fitted in living room, dining room and bedrooms. For the location and number of connection points, please refer to the "Schedule of Mechanical & Electrical Provisions".
(g) Electrical Installations	Concealed conduit wiring with lighting and power points are fitted (Three phase electricity supply with miniature circuit breakers distribution boards are provided). For the location and number of power points and air-conditioner points, please refer to the "Schedule of Mechanical & Electrical Provisions"
(h) Gas Supply	Gas pipes are provided and connected to gas burner and water heater. For the location of connection points, please refer to the "Schedule of Mechanical & Electrical Provisions"
(i) Washing Machine Connection Point	Water inlet and outlet are provided for washing machine. Water point of a design of 20mm in diameter and drain point of a design of 40mm in diameter are provided for washing machine. For the location of connection points, please refer to the "Schedule of Mechanical & Electrical Provisions".
(j) Water Supply	PVC coated copper pipes are provided. Water pipes are partly concealed and partly exposed. There is hot water supply in kitchen, bathrooms and lavatory.

3. 室內裝置	
細項	描述
(c) 廚房	裝木廚櫃，櫃門飾面為膠板飾面和漆面；配有人造石檯面、鍍鉻洗滌盆水龍頭和電動膠捲簾。 *供水系統的類型及用料參考(j)「供水」一欄。 *有關設備的品牌名稱及產品型號，請參閱「設備說明表」。
(d) 睡房	睡房1、2、3和4配有木衣櫃，帶金屬飾條。 所有睡房均配有電動窗簾軌道和布質窗簾。
(e) 電話	客廳、飯廳及睡房均裝有電話插座。 有關接駁點的位置及數目，請參考「機電裝置數目表」。
(f) 天線	客廳、飯廳及睡房均裝有電視及電台天線座。 有關接駁點的位置及數目，請參考「機電裝置數目表」。
(g) 電力裝置	裝置入牆暗線燈位及插座(提供三相電力供電並備有配電箱及斷路器)。 有關電插座及空調機接駁點的位置及數目，請參考「機電裝置數目表」。
(h) 氣體供應	裝妥煤氣喉接駁煮食爐及熱水爐。 有關接駁點的位置，請參考「機電裝置數目表」。
(i) 洗衣機接駁點	洗衣機均設有來去水接駁點。 洗衣機位置均設有直徑20毫米來水位及直徑40毫米去水位。 有關接駁點的位置，請參考「機電裝置數目表」。
(j) 供水	裝妥有膠層保護之銅喉水喉管。 水喉管部份隱藏及部份外露。 廚房、浴室及洗手間均有熱水供應。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

### House 9, House 11 and House 12 9號洋房、11號洋房及12號洋房

4. Miscellaneous	
Item	Description
(a) Lifts	Not applicable
(b) Letter Box	Fitted with stainless steel letter box fitted with natural stone panel.
(c) Refuse Collection	Refuse collection area provided in the common area on LG/F for collection of refuse by cleaners.
(d) Water Meter, Electricity Meter and Gas Meter	Individual water meter is installed in master water meter cabinet on LG/F. Individual electricity meter is installed in low voltage switch room on LG/F. Individual gas meter is installed above false ceiling on LG/F.

5. Security Facilities	
Item	Description
Security System and Equipment	CCTV system is provided along the boundary of the Development. Electric gate and CCTV system are provided at LG/F for the vehicle entrance gate of the Development. Electric door lock system is provided at LG/F for the pedestrian entrance gate of the Development. Video door phone and panic alarm are provided for the house.

6. Appliances	
For brand names and model number of appliances, please refer to "Appliances Schedule".	

4. 雜項	
細項	描述
(a) 升降機	不適用
(b) 信箱	每戶設有不銹鋼信箱配設有天然石飾面板。
(c) 垃圾收集	廢物收集處設置於低層地下的公用地方，由清潔工人收集。
(d) 水錶、電錶及氣體錶	獨立水錶設於低層地下總水錶房內。 獨立電錶設於低層地下低壓電錶房內。 獨立氣體錶設於低層地下假天花上。

5. 雜項	
細項	描述
保安系統及設備	發展項目外圍邊界裝設有閉路電視系統。 發展項目低層地下車閘入口裝設有電動大閘及閉路電視。 發展項目低層地下行人閘入口裝設有電子門鎖系統。 洋房裝設有視像對講系統及警報器。

6. 設備	
設備品牌名稱及產品型號，請參考「設備說明表」。	

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

### Appliance Schedule 設備表

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
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House 3 3號洋房				
Location 位置	Appliance 設備	Brand 品牌	Model 型號	Quantity 數量
Kitchen 廚房	2-Burners Gas Hob 雙頭氣體煮食爐	Miele	CS 1013-1	1
Kitchen 廚房	Wok Burner Gas Hob 炒鑊氣體煮食爐	Miele	CS 1018	1
Kitchen 廚房	BBQ Grill 燒烤爐	Miele	CS 1312 BG	1
Kitchen 廚房	Cookerhood 抽油煙機	Miele	DA 422-6	1
Kitchen 廚房	Oven 焗爐	Miele	H6461B	1
Kitchen 廚房	Steam Oven 蒸焗爐	Miele	DGM 6401	1
Kitchen 廚房	Refrigerator 雪櫃	Miele	KS 37472 iD	1
Kitchen 廚房	Freezer 冰箱	Miele	FNS37402i	1
Kitchen 廚房	Coffee Machine 咖啡機	Miele	CVA 6401	1
Kitchen 廚房	Wine Cellar 酒櫃	Miele	KWT 6321 UG	1
Kitchen 廚房	Dish Washer 洗碗碟機	Miele	G 6260 SCVi	1
Carport 車庫	Washing & Dryer Machine 洗衣乾衣機	Bosch 博世	WTW85551BY	1
Bedroom 1 睡房1	Television 電視	LG 樂金	49UH6500	1
Bedroom 2 睡房2	Television 電視	LG 樂金	49UH6500	1
Bedroom 3 睡房3	Television 電視	LG 樂金	55UH6500	1
Family Room 家庭室	Television 電視	LG 樂金	49UH6500	1
Bathroom 4 浴室 4	Bathroom Television 浴室電視	Samsung 三星	BTV18(MG)	1
Upper Flat Roof 上層平台	Jacuzzi 按摩浴缸	Teuco	3TU-640HRK06136-WT	1
Carport 車庫	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	RLB600X300G1	1
Boiler Room 熱水爐房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	P250-4/1	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Bathroom 4 浴室 4	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 2 浴室 2	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 3 浴室 3	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 2 浴室 2	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 3 浴室 3	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Kitchen 廚房	Electric Heater 電熱水爐	German Pool 德國寶	GPI-M6	1
Boiler Room 熱水爐房	Electric Heater 電熱水爐	Stiebel Eltron 斯寶亞創	HDB-E 18 S1	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ14P	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ18P	1
Dining Room 飯廳	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXSQ80M	3
Bedroom 1 睡房1	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 2 睡房2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bathroom 2 浴室 2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Family Room 家庭室	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 3 睡房 3	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Kitchen 廚房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	1
Bedroom 4 睡房 4	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	2
Boiler Room 熱水爐房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FTKA25AV1H	1
Carport 車庫	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RKA25AV1H	1

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

### Appliance Schedule 設備表

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

House 9 9號洋房				
Location 位置	Appliance 設備	Brand 品牌	Model 型號	Quantity 數量
Kitchen 廚房	2-Burners Gas Hob 雙頭氣體煮食爐	Gaggenau	VG232 334SG	1
Kitchen 廚房	Wok Burner Gas Hob 炒鑊氣體煮食爐	Gaggenau	VG231 334SG	1
Kitchen 廚房	Induction Hob 電磁爐	Gaggenau	VI230 134	1
Kitchen 廚房	Cookerhood 抽油煙機	Gaggenau	AW240 190	1
Kitchen 廚房	Oven 焗爐	Gaggenau	BO450 111	1
Kitchen 廚房	Steam Oven 蒸焗爐	Gaggenau	BO450 110	1
Kitchen 廚房	Microwave Oven 微波爐	Gaggenau	BMP224 110	1
Kitchen 廚房	Refrigerator 雪櫃	Liebherr 利勃	ECN6156	1
Kitchen 廚房	Dish Washer 洗碗碟機	Siemens 西門子	SN56V597EU	1
Kitchen 廚房	Wine Cellar 酒櫃	EUROCAVE	V-266	1
Lower Ground Floor Staircase 低層地下內梯間	Wine Cellar 酒櫃	Nording Cave	BS160Gi	2
Carport 車庫	Washing Machine 洗衣機	Siemens 西門子	WS100260BY	1
Carport 車庫	Dryer Machine 乾衣機	Siemens 西門子	WT46E302HK	1
Carport 車庫	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	RLB600X300G1	1
Boiler Room 熱水爐房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	P250-4/1	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Bathroom 4 浴室 4	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 2 浴室 2	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 3 浴室 3	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 2 浴室 2	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 3 浴室 3	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Boiler Room 熱水爐房	Electric Heater 電熱水爐	German Pool 德國寶	DBX16.2-19.4 5EF180E	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ14P	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ18P	1
Dining Room 飯廳	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXSQ80M	3
Bedroom 1 睡房 1	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 2 睡房 2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bathroom 2 浴室 2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Family Room 家庭室	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 3 睡房 3	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Kitchen 廚房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	1
Bedroom 4 睡房 4	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	2
Boiler Room 熱水爐房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FTXA25AV1H	1
Carport 車庫	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXA25AV1H	1

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

### Appliance Schedule 設備表

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed. 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

House 11 11號洋房				
Location 位置	Appliance 設備	Brand 品牌	Model 型號	Quantity 數量
Kitchen 廚房	Gas Cooker 氣體煮食爐	Gaggenau	VG232 334SG	1
Kitchen 廚房	Wok Burner Gas Hob 炒鑊氣體煮食爐	Gaggenau	VG231 334SG	1
Kitchen 廚房	Induction Hob 電磁爐	Gaggenau	VI230 134	1
Kitchen 廚房	Cookerhood 抽油煙機	Gaggenau	AW400 190	1
Kitchen 廚房	Oven 焗爐	Gaggenau	BO270 111	1
Kitchen 廚房	Steam Oven 蒸焗爐	Gaggenau	BS250 110	1
Kitchen 廚房	Microwave Oven 微波爐	Gaggenau	BM221 110	1
Kitchen 廚房	Refrigerator 雪櫃	Siemens 西門子	KI87SA30	1
Kitchen 廚房	Wine Cellar 酒櫃	EUROCAVE	V-266	1
Kitchen 廚房	Dish Washer 洗碗碟機	Siemens 西門子	SN56V597EU	1
Carport 車庫	Washing Machine 洗衣機	Siemens 西門子	WS100260BY	1
Carport 車庫	Dryer Machine 乾衣機	Siemens 西門子	WT46E302HK	1
Carport 車庫	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	RLB600X300G1	1
Boiler Room 熱水爐房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	P250-4/1	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Bathroom 4 浴室 4	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 2 浴室 2	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 3 浴室 3	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 2 浴室 2	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 3 浴室 3	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Boiler Room 熱水爐房	Electric Heater 電熱水爐	German Pool 德國寶	DBX16.2-19.4 5EF180E	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ14P	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ18P	1
Dining Room 飯廳	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXSQ80M	3
Bedroom 1 睡房 1	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 2 睡房 2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bathroom 2 浴室 2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Family Room 家庭室	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 3 睡房 3	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Kitchen 廚房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	1
Bedroom 4 睡房 4	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	2
Boiler Room 熱水爐房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FTXA25AV1H	1
Carport 車庫	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXA25AV1H	1

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

### Appliance Schedule 設備表

The owner undertakes that if lifts or appliances of the specified brand name or model number as stated respectively in items 4(a) and 6 are not installed in the Development, lifts or appliances of the comparable quality will be installed.  
 擁有人承諾如發展項目中沒有安裝分別於下表第4(a)及第6項指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

House 12 12號洋房				
Location 位置	Appliance 設備	Brand 品牌	Model 型號	Quantity 數量
Kitchen 廚房	2-Burners Gas Hob 雙頭氣體煮食爐	Miele	CS 1013-1	1
Kitchen 廚房	Wok Burner Gas Hob 炒鑊氣體煮食爐	Miele	CS 1018	1
Kitchen 廚房	Induction Hob 電磁爐	Miele	CS 1212-1i	1
Kitchen 廚房	Cookerhood 抽油煙機	Miele	DA 429-6 C	1
Kitchen 廚房	Oven 焗爐	Miele	H6461B	1
Kitchen 廚房	Steam Oven 蒸焗爐	Miele	DGM 6401	1
Kitchen 廚房	Washing & Dryer Machine 洗衣及乾衣機	Miele	WT2798iWPM	1
Kitchen 廚房	Refrigerator 雪櫃	Miele	KS 37472 iD	1
Kitchen 廚房	Wine Cellar 酒櫃	Miele	KWT 6322 UG	1
Kitchen 廚房	Dish Washer 洗碗碟機	Miele	G 6660 SCVi	1
Carport 車庫	Washing Machine 洗衣機	Siemens 西門子	WS10K160HK	1
Carport 車庫	Dryer Machine 乾衣機	Siemens 西門子	WT46G400HK	1
Carport 車庫	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	RLB600X300G1	1
Boiler Room 熱水爐房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	P250-4/1	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Bathroom 4 浴室 4	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125B	1
Kitchen 廚房	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 2 浴室 2	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 3 浴室 3	Exhaust Fan 抽氣扇	Ostberg 奧斯博格	LPK125A	1
Bathroom 1 浴室 1	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 2 浴室 2	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Bathroom 3 浴室 3	Towngas Water Heater 煤氣熱水爐	TGC	NJW220TFQL	1
Boiler Room 熱水爐房	Electric Heater 電熱水爐	German Pool 德國寶	DBX16.2-19.4 5EF180E	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ14P	1
Lower Ground Floor 低層地下	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXYQ18P	1
Dining Room 飯廳	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXSQ80M	3
Bedroom 1 睡房1	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 2 睡房2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bathroom 2 浴室 2	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Family Room 家庭室	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Bedroom 3 睡房 3	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ50N	1
Kitchen 廚房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	1
Bedroom 4 睡房 4	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FXDQ63N	2
Boiler Room 熱水爐房	Indoor Unit Air Conditioner 室內空調機	Daikin 大金	FTXA25AV1H	1
Carport 車庫	Outdoor Unit Air Conditioner 室外空調機	Daikin 大金	RXA25AV1H	1

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

Schedule of Mechanical and Electrical Provisions of Residential Units 住宅單位機電裝置數量說明表

Floor 樓層	Location 位置	Mechanical & Electrical Provisions 機電裝備	House 3 3號洋房	House 9 9號洋房	House 11 11號洋房	House 12 12號洋房
Lower Ground Floor 低層地下	Carport 車庫	Single Socket Outlet 單位電插座	3	3	3	3
		Lighting Point 燈位	18	20	20	20
		Water Point 來水位	3	3	3	3
		Water Outlet 去水位	1	1	1	1
		Visitor Panel 訪客對講屏	1	1	1	1
	Boiler Room 熱水爐房	Single Socket Outlet 單位電插座	1	3	3	3
		Lighting Point 燈位	2	2	2	2
		Lighting Switch 燈掣	1	1	1	1
		Double Pole Switch 雙極開關掣	2	2	2	2
		Connection / Fused Spur Unit 電源/保險絲電源接線座	3	3	3	3
	Staircase 樓梯	Lighting Switch 燈掣	1	1	1	1
		Lighting Point 燈位	10	6	6	6
Single Socket Outlet 單位電插座		-	2	-	-	
Ground Floor 地下	Living Room / Dining Room 客廳/飯廳	Single Socket Outlet 單位電插座	3	4	4	4
		Twin Socket Outlet 雙位電插座	4	5	5	5
		TV / FM Outlet 電視/收音機天線插座	1	1	1	1
		Telephone Outlet 電話插座	1	2	2	2
		Data Point 數據插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	8	5	5	5
		Double Pole Switch 雙極開關掣	-	2	2	2
		Lighting Point 燈位	61	23	23	23
		Lighting Switch 燈掣	12	9	9	9
		Curtain Switch 窗簾掣	3	-	-	-
		Motion Sensor 移動感應器	2	2	2	2
	Lavatory 洗手間	Single Socket Outlet 單位電插座	1	1	1	1
		Lighting Switch 燈掣	1	-	-	-
		Lighting Point 燈位	5	2	2	2
		Double Pole Switch 雙極開關掣	1	-	-	-
	Kitchen 廚房	Single Socket Outlet 單位電插座	12	8	8	8
		Twin Socket Outlet 雙位電插座	3	4	4	4
		Connection / Fused Spur Unit 電源/保險絲電源接線座	9	9	9	9
		Water Inlet Connection Point for Washing Machine 洗衣機來水位	-	1	1	1
		Water Outlet Connection for Washing Machine 洗衣機去水位	-	1	1	1
		Water Inlet Connection Point for Dish Washer 洗碗碟機來水位	1	1	1	1
		Water Outlet Connection for Dish Washer 洗碗碟機去水位	1	1	1	1
		Town Gas Connection Point 煤氣接駁點	1	1	1	1
		Double Pole Switch 雙極開關掣	1	1	1	1

Notes :

1. The symbol “-” as shown in the schedule above denotes “Not applicable”.

備註：

1. 上表“-”代表“不適用”。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

Schedule of Mechanical and Electrical Provisions of Residential Units 住宅單位機電裝置數量說明表

Floor 樓層	Location 位置	Mechanical & Electrical Provisions 機電裝備	House 3 3號洋房	House 9 9號洋房	House 11 11號洋房	House 12 12號洋房
Ground Floor 地下	Kitchen 廚房	Lighting Point 燈位	17	11	11	11
		Lighting Switch 燈掣	2	3	3	3
		Curtain Switch 窗簾掣	1	-	-	-
		Video Door Phone 視像對講機	1	1	1	1
	Staircase 樓梯	Single Socket Outlet 單位電插座	5	-	-	-
		Lighting Switch 燈掣	2	3	3	3
		Lighting Point 燈位	3	4	4	4
	Garden 花園	Weatherproof Single Socket Outlet 防水單位電插座	4	4	4	4
		Lighting Point 燈位	11	8	8	8
		Water Point 供水點	3	1	1	1
1/F 一樓	Bedroom 1 睡房 1	Single Socket Outlet 單位電插座	4	4	4	4
		Twin Socket Outlet 雙位電插座	1	2	2	2
		TV / FM Outlet 電視/收音機天線插座	2	1	1	1
		Telephone Outlet 電話插座	-	2	2	2
		Data Point 數據插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	3	1	1	1
		Double Pole Switch 雙極開關掣	1	2	2	2
		Lighting Point 燈位	23	8	8	8
		Lighting Switch 燈掣	-	6	6	6
		Curtain Switch 窗簾掣	2	-	-	-
	Bathroom 1 浴室 1	Single Socket Outlet 單位電插座	1	1	1	1
		Lighting Point 燈位	5	4	4	4
		Gas Heater Controller 煤氣熱水爐遙控器	1	1	1	1
		Shaver Socket 鬚刨插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	2	2	2	2
	Bedroom 2 睡房 2	Single Socket Outlet 單位電插座	4	5	5	5
		Twin Socket Outlet 雙位電插座	2	2	2	2
		TV / FM Outlet 電視/收音機天線插座	1	1	1	1
		Telephone Outlet 電話插座	-	2	2	2
		Data Point 數據插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	3	2	2	2
		Double Pole Switch 雙極開關掣	1	2	2	2
		Lighting Point 燈位	17	10	10	10
		Lighting Switch 燈掣	5	7	7	7
		Curtain Switch 窗簾掣	1	-	-	-
	Motion Sensor 移動感應器	1	1	1	1	

Notes :

1. The symbol “-” as shown in the schedule above denotes “Not applicable”.

備註：

1. 上表“-”代表“不適用”。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

Schedule of Mechanical and Electrical Provisions of Residential Units 住宅單位機電裝置數量說明表

Floor 樓層	Location 位置	Mechanical & Electrical Provisions 機電裝備	House 3 3號洋房	House 9 9號洋房	House 11 11號洋房	House 12 12號洋房
1/F 一樓	Bathroom 2 浴室 2	Single Socket Outlet 單位電插座	1	1	1	1
		Lighting Point 燈位	7	6	6	6
		Gas Heater Controller 煤氣熱水爐遙控器	1	1	1	1
		Shaver Socket 鬚刨插座	-	1	1	1
		Smart Glass Switch 智能鏡開關掣	1	-	-	-
		Connection / Fused Spur Unit 電源/保險絲電源接線座	3	3	3	3
	Family Room 家庭室	Single Socket Outlet 單位電插座	1	-	-	-
		Twin Socket Outlet 雙位電插座	-	5	5	5
		TV / FM Outlet 電視/收音機天線插座	1	1	1	1
		Telephone Outlet 電話插座	-	1	1	1
		Data Point 數據插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	1	1	1	1
		Lighting Point 燈位	17	7	7	7
		Lighting Switch 燈掣	1	2	2	2
	Panic Alarm 警報掣	-	1	1	1	
	Flat Roof 平台	Lighting Point 燈位	3	3	3	3
	Staircase 樓梯	Lighting Point 燈位	8	2	2	2
Lighting Switch 燈掣		-	2	2	2	
Single Socket Outlet 單位電插座		2	2	2	2	
2/F 二樓	Bedroom 3 睡房 3	Single Socket Outlet 單位電插座	2	4	4	4
		Twin Socket Outlet 雙位電插座	3	2	2	2
		TV / FM Outlet 電視/收音機天線插座	1	1	1	1
		Telephone Outlet 電話插座	-	2	2	2
		Data Point 數據插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	3	2	2	2
		Double Pole Switch 雙極開關掣	1	2	2	2
		Lighting Point 燈位	14	8	8	8
		Lighting Switch 燈掣	3	7	7	7
		Curtain Switch 窗簾掣	1	-	-	-
		Motion Sensor 移動感應器	1	1	1	1
	Bathroom 3 浴室 3	Single Socket Outlet 單位電插座	1	1	1	1
		Lighting Point 燈位	5	4	4	4
		Gas Heater Controller 煤氣熱水爐遙控器	1	1	1	1
		Shaver Socket 鬚刨插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	2	2	2	2

Notes :

1. The symbol “-” as shown in the schedule above denotes “Not applicable”.

備註：

1. 上表“-”代表“不適用”。

# 23 FITTINGS, FINISHES AND APPLIANCES

## 裝置、裝修物料及設備

Schedule of Mechanical and Electrical Provisions of Residential Units 住宅單位機電裝置數量說明表

Floor 樓層	Location 位置	Mechanical & Electrical Provisions 機電裝備	House 3 3號洋房	House 9 9號洋房	House 11 11號洋房	House 12 12號洋房
2/F 二樓	Bedroom 4 睡房 4	Single Socket Outlet 單位電插座	5	4	4	4
		Twin Socket Outlet 雙位電插座	2	2	2	2
		TV / FM Outlet 電視/收音機天線插座	1	1	1	1
		Telephone Outlet 電話插座	-	2	2	2
		Data Point 數據插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	4	3	3	3
		Double Pole Switch 雙極開關掣	-	2	2	2
		Lighting Point 燈位	20	13	13	13
		Lighting Switch 燈掣	5	7	7	7
		Curtain Switch 窗簾掣	1	-	-	-
		Motion Sensor 移動感應器	1	1	1	1
		Panic Alarm 警報掣	1	1	1	1
	Bathroom 4 浴室 4	Single Socket Outlet 單位電插座	1	1	1	1
		Lighting Point 燈位	9	7	7	7
		Gas Heater Controller 煤氣熱水爐遙控器	1	1	1	1
		Shaver Socket 鬚刨插座	-	1	1	1
		Connection / Fused Spur Unit 電源/保險絲電源接線座	1	1	1	1
		Double Pole Switch 雙極開關掣	1	-	-	-
	Flat Roof 平台	Lighting Point 燈位	2	2	2	2
	Balcony 露台	Lighting Point 燈位	2	2	2	2
Staircase 樓梯	Lighting Point 燈位	7	2	2	2	
	Lighting Switch 燈掣	2	2	2	2	
	Single Socket Outlet 單位電插座	2	2	2	2	
Roof 天台	Lower Flat Roof 低層平台	Weatherproof Single Socket Outlet 防水單位電插座	2	2	2	2
		Lighting Point 燈位	4	4	4	4
	Upper Flat Roof 上層平台	Weatherproof Single Socket Outlet 防水單位電插座	1	2	2	2
		Lighting Point 燈位	13	7	7	7
		Town Gas Connection Point 煤氣接駁點	1	1	1	1
		Water Point 供水點	2	1	1	1
		Weatherproof Single Socket Outlet 防水單位電插座	-	1	1	1
	Staircase 樓梯	Lighting Point 燈位	1	1	1	1
		Lighting Switch 燈掣	2	2	2	2
		Single Socket Outlet 單位電插座	1	1	1	1

Notes :

1. The symbol “-” as shown in the schedule above denotes “Not applicable”.

備註：

1. 上表“-”代表“不適用”。

## 24 SERVICE AGREEMENTS 服務協議

- Potable and flushing water is supplied by Water Supplies Department.
- Electricity is supplied by The Hongkong Electric Company Limited.
- Towngas is supplied by The Hong Kong and China Gas Company Limited.

- 食水及沖廁水由水務署供應。
- 電力由香港電燈有限公司供應。
- 煤氣由香港中華煤氣有限公司供應。

## 25 GOVERNMENT RENT 地稅

The Owner is liable for the Government rent payable for the specified residential property up to and including the date of the assignment of that specified residential property.

擁有人有法律責任繳付該指明住宅物業直至該指明住宅物業的業權轉讓日期(包括該日)為止的地稅。

## 26 MISCELLANEOUS PAYMENTS BY PURCHASER 買方的雜項付款

- a. On the delivery of the vacant possession of the specified residential property to the purchaser, the purchaser is liable to reimburse the owner for the deposits for water, electricity and gas.
- b. On that delivery, the purchaser is not liable to pay to the owner a debris removal fee.

Note:

On that delivery, the purchaser is liable to pay a debris removal fee to the manager (not the Owner) or (as the case may be) reimburse to the First Owner of the Development under the deed of mutual covenant.

- a. 在向買方交付指明住宅物業在空置情況下的管有權時，買方須負責向擁有人補還水、電力及氣體的按金。
- b. 在交付時，買方不須向擁有人支付清理廢料的費用。

附註：

在交付時，買方須根據公契向發展項目的管理人(而非擁有人)支付或(視情況而定)向發展項目的第一擁有人付還清理廢料的費用。

## 27 DEFECT LIABILITY WARRANTY PERIOD 欠妥之處的保養責任期

The Vendor shall, at its own cost and as soon as reasonably practicable after receipt of a written notice served by the Purchaser within 6 months after the date of completion of the sale and purchase of the specified residential property, remedy any defects to the Property, or the fittings, finishes or appliances as set out in the agreement for sale and purchase concerned, caused otherwise than by the act or neglect of the Purchaser.

凡物業或於買賣合約列出裝設於物業內的裝置、裝修物料或設備有欠妥之處，而該欠妥之處並非由買方行為或疏忽造成，則賣方在接獲買方在指明住宅物業之買賣成交日期後的六個月內送達的書面通知後，須於合理地切實可行的範圍內，盡快自費作出補救。

**The Land Grant requires the owners of the residential properties in the Development to maintain any slope at their own cost. The terms of the requirement are as follows:**

- Condition (L) of the Land Grant:-
- (i) The Owners shall not cut away, remove or set back any Government land adjacent to or adjoining the Lot or carry out any building up, filling in or any slope treatment works of any kind whatsoever on any Government land except with the prior written consent of the Director who may, at his sole discretion, give his consent subject to such terms and conditions as he sees fit, including the grant of additional Government land as an extension to the Lot at such premium as he may determine.
- (ii) Where there is or has been any cutting away, removal or setting back of any land, or any building up or filling in or any slope treatment works of any kind whatsoever, whether with or without the prior written consent of the Director, either within the Lot or on any Government land, which is or was done for the purpose of or in connection with the formation, levelling or development of the Lot or any part thereof or any other works required to be done by the Owners under the Conditions of the Land Grant or for any other purpose, the Owners shall at their own expense carry out and construct such slope treatment works, retaining walls or other support, protection, drainage or ancillary or other works as necessary to protect and support such land within the Lot and also any adjacent or adjoining Government or leased land and to obviate and prevent any falling away, landslip or subsidence occurring thereafter. The Owners shall at all times during the term of the Land Grant maintain at their own expense the said land, slope treatment works, retaining walls or other support, protection, drainage or ancillary or other works in good and substantial repair and condition to the satisfaction of the Director.
- (iii) Nothing in sub-paragraph (ii) stated above shall prejudice the rights of the Government of the Hong Kong Special Administrative Region (the "Government") under the Conditions of the Land Grant, in particular sub-paragraph (i) above.
- (iv) In the event that as a result of or arising out of any formation, levelling, development or other works done by the Owners or owing to any other reason, any falling away, landslip or subsidence occurs at any time, whether in or from any land, within the Lot or from any adjacent or adjoining Government or leased land, the Owners shall at their own expense reinstate and make good the same to the satisfaction of the Director and shall indemnify the Government its agents and contractors from and

against all costs, charges, damages, demands and claims whatsoever which shall or may be made, suffered or incurred through or by reason of such falling away, landslip or subsidence.

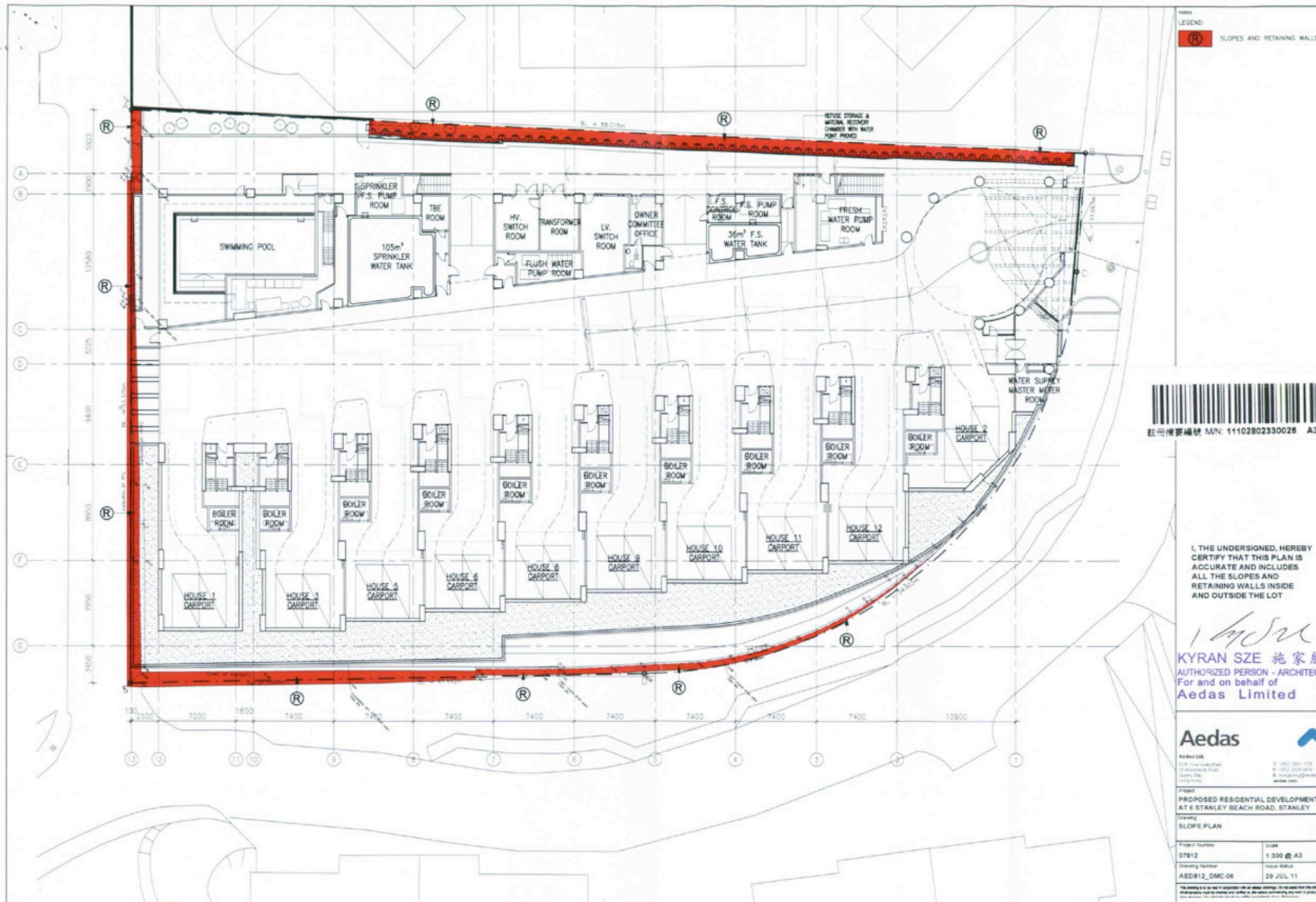
- (v) In addition to any other rights or remedies provided in the Land Grant for breach of any of the Conditions of the Land Grant, the Director shall be entitled by notice in writing to call upon the Owners to carry out, construct and maintain the said land, slope treatment works, retaining walls, or other support, protection, and drainage or ancillary or other works or to reinstate and make good any falling away, landslip or subsidence, and if the Owners shall neglect or fail to comply with the notice to the satisfaction of the Director within the period specified therein, the Director may forthwith execute and carry out any necessary works and the Owners shall on demand repay to the Government the cost thereof, together with any administrative or professional fees and charges.
- Each of the Owners is obliged to contribute towards the costs of the maintenance works.
- Under the Deed of Mutual Covenant, the Manager of the Development has the Owner's authority to carry out the maintenance work.

批地文件規定，發展項目中的住宅物業的擁有人須自費維修任何斜坡，該規定的條款如下：

- 政府批地文件條款第(I)條：-
- (i) 除了得到署長事先書面同意以外，業主不得削去，移除或後移任何與該地段相鄰或毗鄰的政府土地，或在任何政府土地進行任何興建或填平或任何斜坡整理工程。署長有全權能力在給予同意的同時施加任何他認為合適的條款和條件，包括以署長決定的地價授予額外政府土地作為該地段的延展。
- (ii) 如因或與塑造、平整或發展該地段相關或承授人於批地文件條款下須進行的其他工程或為任何其他目的而在該地段內或任何政府土地進行任何土地的削去、移除或後移或任何形式的興建或填平或斜坡處理工程，不論是否得到署長的事先書面同意，業主須自費進行及興建斜坡處理工程、護土牆或其他支撐物、保護物、排水或輔助或其他必須工程以保護及支持該地段的土地及任何鄰近或相鄰的政府或已批租土地，並防止任何泥土傾瀉、滑坡或地陷發生。業主須在批地文件批地期內不時保養該土地、斜坡處理工程、護土牆或其他支撐物、保護物、排水或輔助或其他工程修葺至良好堅固的狀況，以達致署長認為滿意的程度。
- (iii) 上述分段(ii)所述不會影響香港特別行政區政府(「政府」)在政府批地文件條款的權利，尤其上述分段(i)所述權利。
- (iv) 當業主進行開拓、土地平整、發展或其他工程或由於其他原因而發生泥土傾瀉、滑坡或地陷，不論在土地裏或外，不論是否在該地段的土地及任何鄰近或相鄰的政府或已批租土地，業主須自費修葺使之恢復原狀，以達致署長認為滿意的程度。業主亦須彌償政府、其代理人和其承辦商一切因泥土傾瀉、滑坡或地陷所或可能產生、蒙受或引致的成本、支出、損毀、收費和索償等。
- (v) 如有違反政府批地文件條款，除了政府批地文件所載的權利或彌償外，署長亦有權發出書面通知要求業主進行，建設和保養前述土地，斜坡處理工程、護土牆或其他支撐物、保障物及排水或輔助或其它有需要工程或修葺任何泥土傾瀉，滑坡或地陷，使之恢復原狀。如業主沒有在書面通知書所載的指定時間內履行該書面通知，署長可以代為執行和進行任何需要的工程，並可要求業主償還政府就執行和進行工程的費用，連同任何行政費或專業收費及支出等。
- 每名擁有人均須分擔維修工程的費用。
- 根據公契，發展項目的管理人獲擁有人授權進行維修工程。

# 28 MAINTENANCE OF SLOPES 斜坡維修

Slopes and Retaining Walls Plan  
斜坡及護土牆圖



Legend 圖例:  
Ⓡ Slopes and Retaining Walls  
斜坡及護土牆

Remark 備註:  
The plan is for showing the locations of the slope structures, retaining walls or related structures only. Other matters shown in this plan may not reflect their latest conditions.  
上圖僅作顯示斜坡、護土牆或有關構築物的位置，圖中所示之其他事項未必能反映其最新狀況。

## 29 MODIFICATION 修訂

Not applicable.

不適用。

## 30 RELEVANT INFORMATION 有關資料

Not applicable.

不適用。

# 31 WEBSITE OF THE DEVELOPMENT

## 發展項目的互聯網網址

The address of the website designated by the Vendor for the Development for the purpose of Part 2 of the Residential Properties (First-hand Sales) Ordinance: **[www.6stanleybeachroad.com.hk](http://www.6stanleybeachroad.com.hk)**

賣方為施行《一手住宅物業銷售條例》第2部而就發展項目指定的互聯網網站的網址：  
**[www.6stanleybeachroad.com.hk](http://www.6stanleybeachroad.com.hk)**

# 32 INFORMATION IN APPLICATION FOR CONCESSION ON GROSS FLOOR AREA OF BUILDING

## 申請建築物總樓面面積寬免的資料

### Breakdown of GFA Concessions Obtained for All Features 獲寬免總樓面面積的設施分項

Latest information on breakdown of GFA concessions as shown on the general building plans submitted to and approved by the Building Authority (BA) prior to the printing of the sales brochure is tabulated below. Information marked (#) may be based on information provided by the authorized person if the sales brochure is printed prior to submission of the final amendment plans to the BA. The breakdown of GFA concessions may be subject to further changes until final amendment plans are submitted to and approved by the BA prior to the issuance of the occupation permit for the development.

於印製售樓說明書前呈交予並已獲建築事務監督批准的一般建築圖則上有關總樓面面積寬免的分項的最新資料，請見下表。如印製售樓說明書時尚未呈交最終修訂圖則予建築事務監督，則有(#)號的資料可以由認可人士提供的資料作為基礎。直至最終修訂圖則於發出佔用許可證前呈交予並獲建築事務監督批准前，以下分項資料仍可能有所修改。

		Area (sq.m.) 面積 (平方米)
Disregarded GFA under Building (Planning) Regulations 23(3)(b) 根據《建築物(規劃)規例》第23(3)(b)條不計算的總樓面面積		
1.(#)	Carpark and loading/unloading area excluding public transport terminus 停車場及上落客貨地方(公共交通總站除外)	2,149.890
2.	<b>Plant Rooms and Similar Services</b> <b>機房及相類設施</b>	
2.1	Mandatory feature or essential plant room, area of which is limited by respective Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) or regulation such as lift machine room, telecommunications and broadcasting (TBE) room, TBE room for access facilities for mobile services, rooftop telecommunications equipment room, intermediate telecommunications equipment room, refuse storage chamber, etc. 所佔面積受相關《認可人士、註冊結構工程師及註冊岩土工程師作業備考》(《作業備考》)或規例限制的強制性設施或必要機房，例如升降機機房、電訊及廣播設備室(訊播室)、為流動通訊接達設施而設的訊播室、天台電訊設備室、中層電訊設備室、垃圾房等	27.533
2.2(#)	Mandatory feature or essential plant room, area of which is NOT limited by any PNAP or regulation such as room occupied solely by fire services installations (FSI) and equipment, meter room, transformer room, potable and flushing water tank, etc. 所佔面積不受任何《作業備考》或規例限制的強制性設施或必要機房，例如僅由消防裝置及設備佔用的房間、電錶房、電力變壓房、食水及鹹水缸等	226.380
2.3	Non-mandatory or non-essential plant room such as air-conditioning (A/C) plant room, air handling unit (AHU) room, etc. 非強制性或非必要機房，例如空調機房、送風櫃房等	Not Applicable 不適用

		Area (sq.m.) 面積 (平方米)
Green Features under Joint Practice Notes 1 and 2 根據聯合作業備考第1及第2號提供的環保設施		
3.	Balcony 露台	49.910
4.	Wider common corridor and lift lobby 加闊的公用走廊及升降機大堂	Not Applicable 不適用
5.	Communal sky garden 公用空中花園	Not Applicable 不適用
6.	Acoustic fin 隔聲鰭	Not Applicable 不適用
7.	Wing wall, wind catcher and funnel 翼牆、捕風器及風斗	Not Applicable 不適用
8.	Non-structural prefabricated external wall 非結構預製外牆	Not Applicable 不適用
9.	Utility platform 工作平台	Not Applicable 不適用
10.	Noise barrier 隔音屏障	Not Applicable 不適用

# 32 INFORMATION IN APPLICATION FOR CONCESSION ON GROSS FLOOR AREA OF BUILDING

## 申請建築物總樓面面積寬免的資料

		Area (sq.m.) 面積 (平方米)
<b>Amenity Features</b> 適意設施		
11.	Caretakers' quarters, counter, office, store, guard room and lavatory for watchman and management staff and owners' corporation office 管理員宿舍、供保安人員和管理處員工使用的櫃位、辦事處、貯物室、警衛室和廁所，以及業主立案法團辦事處	24.873
12.	Residential recreational facilities including void, plant room, swimming pool filtration plant room, covered walkway, etc. serving solely the recreational facilities 住宅康樂設施，包括僅供康樂設施使用的中空空間、機房、游泳池的濾水機房、有蓋人行道等	183.078
13.	Covered landscaped and play area 有蓋園景區及遊樂場地	Not Applicable 不適用
14.	Horizontal screens/covered walkways and trellis 橫向屏障/有蓋人行道及花棚	Not Applicable 不適用
15.	Larger lift shaft 擴大升降機槽	Not Applicable 不適用
16.	Chimney shaft 煙囪管道	Not Applicable 不適用
17.	Other non-mandatory or non-essential plant room, such as boiler room, satellite master antenna television (SMATV) room 其他非強制性或非必要機房，例如鍋爐房、衛星電視共用天線房	57.600
18.(#)	Pipe duct, air duct and vertical riser for mandatory feature or essential plant room 強制性設施或必要機房所需的管槽、氣槽及垂直立管	20.000
19.	Pipe duct, air duct for non-mandatory or non-essential plant room 非強制性設施或非必要機房所需的管槽及氣槽	Not Applicable 不適用
20.	Plant room, pipe duct, air duct for environmentally friendly system and feature 環保系統及設施所需的機房、管槽及氣槽	Not Applicable 不適用
21.	Void in duplex domestic flat and house 複式住宅單位及洋房的中空空間	Not Applicable 不適用
22.	Sunshade and reflector 遮陽篷及反光罩	Not Applicable 不適用
23.(#)	Projecting planters and minor projection such as A/C box, A/C platform, window cill and projecting window 伸出式花槽及小型伸出物，例如空調機箱、空調機平台、窗檻及伸出的窗台	22.000
24.	Other projection such as A/C box and A/C platform not covered in paragraph 3(b) and (c) of PNAP APP-19, and maintenance walkway 《作業備考》APP-19第3(b)及(c)段沒有涵蓋的其他伸出物，如空調機箱及空調機平台，及維修通道	Not Applicable 不適用

		Area (sq.m.) 面積 (平方米)
<b>Other Exempted Items</b> 其他項目		
25.(#)	Refuge floor including refuge floor cum sky garden 庇護層，包括庇護層兼空中花園	Not Applicable 不適用
26.	Covered area under large projecting/overhanging feature 大型伸出/外懸設施下的有蓋地方	Not Applicable 不適用
27.	Public transport terminus 公共	Not Applicable 不適用
28.(#)	Party structure and common staircase 共用構築物及公用樓梯	Not Applicable 不適用
29.(#)	Horizontal area of staircase, lift shaft and vertical duct solely serving floor accepted as not being accountable for GFA 僅供獲接納不計入總樓面面積的樓層使用的樓梯、升降機槽及垂直管道的水平面積	Not Applicable 不適用
30.	Public passage 公眾通道	Not Applicable 不適用
31.	Covered set back area 有蓋的後移部分	Not Applicable 不適用
<b>Bonus GFA</b> 額外總樓面面積		
32.	Bonus GFA 額外總樓面面積	Not Applicable 不適用
<b>Additional Green Features under Joint Practice Note (No. 8)</b> 根據聯合作業備考(第8號)提供的額外環保設施		
33.	Buildings adopting Modular Integrated Construction 採用「組裝合成」建築法的樓宇	Not Applicable 不適用

**Note 備註:**

The above table is based on the requirements as stipulated in the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers ADM-2 issued by the Buildings Department. The Buildings Department may revise such requirements from time to time as appropriate.

上述表格是根據屋宇署所發出的《認可人士、註冊結構工程師及註冊岩土工程師作業備考》ADM-2規定的要求而制訂的。屋宇署會按實際需要不時更改有關要求。

# 32 INFORMATION IN APPLICATION FOR CONCESSION ON GROSS FLOOR AREA OF BUILDING

## 申請建築物總樓面面積寬免的資料

### The Environmental Assessment of the Building

#### 有關建築物的環境評估

The approved general building plans of the Development are not subject to the requirements stipulated in the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-151 issued by the Building Authority. Environmental assessment and information on the estimated energy performance or consumption for the common parts of the Development were not required to be submitted to the Building Authority as a prerequisite for the granting of gross floor area concessions.

發展項目的經批准一般建築圖則不受由建築事務監督發出的《認可人士、註冊結構工程師及註冊岩土工程師 作業備考》APP-151 規定規限。發展項目的環境評估及公用部分的預計能量表現或消耗的資料無須呈交建築事務監督，以作為批予總樓面面積寬免的先決條件。

### Estimated Energy Performance or Consumption for the Common Parts of the Development

#### 發展項目的公用部分的預計能量表現或消耗

The approved general building plans of the Development are not subject to the requirements stipulated in the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-151 issued by the Building Authority. Environmental assessment and information on the estimated energy performance or consumption for the common parts of the Development were not required to be submitted to the Building Authority as a prerequisite for the granting of gross floor area concessions.

發展項目的經批准一般建築圖則不受由建築事務監督發出的《認可人士、註冊結構工程師及註冊岩土工程師 作業備考》APP-151 規定規限。發展項目的環境評估及公用部分的預計能量表現或消耗的資料無須呈交建築事務監督，以作為批予總樓面面積寬免的先決條件。

## 33 CHANGES 改變

There may be future changes to the Development and the surrounding areas.

發展項目及其周邊地區日後可能出現改變。

## 34 DATE OF PRINTING 印製日期

26<sup>th</sup> February 2025

2025年2月26日

